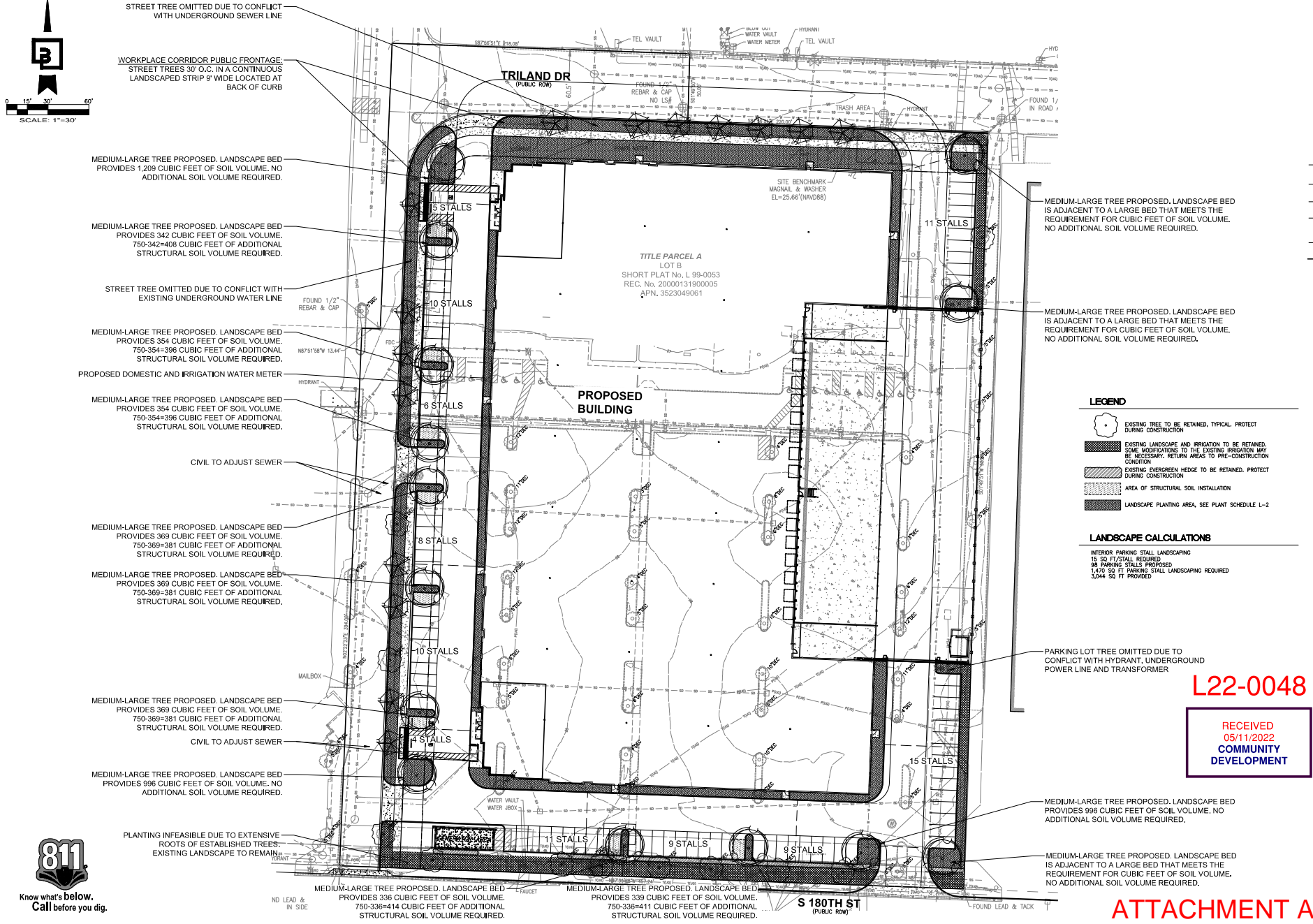
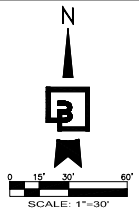


PRELIMINARY LANDSCAPE AND IRRIGATION SET



- LEGEND**
- EXISTING TREE TO BE RETAINED, TYPICAL PROTECT DURING CONSTRUCTION
 - EXISTING LANDSCAPE AND IRRIGATION TO BE RETAINED. SOME MODIFICATIONS TO THE EXISTING IRRIGATION MAY BE NECESSARY. RETURN AREAS TO PRE-CONSTRUCTION CONDITION
 - EXISTING EVERGREEN HEDGE TO BE RETAINED, PROTECT DURING CONSTRUCTION
 - AREA OF STRUCTURAL SOIL INSTALLATION
 - LANDSCAPE PLANTING AREA, SEE PLANT SCHEDULE L-2

LANDSCAPE CALCULATIONS

INTERIOR PARKING STALL LANDSCAPING
15 SQ FT/STALL REQUIRED
98 PARKING STALLS PROPOSED
1,470 SQ FT PARKING STALL LANDSCAPING REQUIRED
3,044 SQ FT PROVIDED

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ATTACHMENT A



Revision	Ms	Date	By	Cons.	Appr.
Title: PRELIMINARY LANDSCAPE PLAN					
For: IDI LOGISTICS ACT III THEATER					
Scale:	Horizontal	1"=30'	Vertical	NA	
Designer: JML	Drawn: JML	Checked: JML	Approved: JML	Date:	5/23/22
Barghausen Consulting Engineers, Inc. 10225 172nd Avenue South Kent, WA 98032 425.251.6722 barghausen.com					
Job Number	21974	Sheet	L-1 7		

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TUKWILA INDUSTRIAL COMPLIANCE WITH DESIGN STANDARDS

TO: Brandon Dickens
Vice President of Capital Deployment
IDI Logistics
840 Apollo St Ste 343
El Segundo, CA 90245

DATE: May 10, 2022
FROM: Lisa Klein, AICP
PROJECT NO.: 2210653.30

PROJECT NAME: Tukwila Industrial

SUMMARY OF APPLICABLE CODE REQUIREMENTS

The parcel is located at 5910 S 180th St, Tukwila, WA 98188, which is currently occupied by Regal Parkway Plaza Stadium 12. This parcel falls within the Tukwila Urban Center – Workplace (TUC-WP) zone of the City of Tukwila. This area is characterized by big-box retailers, warehouses, and restaurants, with Westfield Southcenter Shopping Mall located about 1 mile to the north. The parcel is 260,436 square feet of land or about 6 acres. The site is already developed and contains the 43,861 square foot movie theater and a large area of surface parking. The topography is flat.

Warehouse uses are permitted within the TUC-WP zone. Since this is a large-scale new construction greater than 25,000 square feet, the development shall be reviewed by the Board of Architectural Review as a Type 4 decision, which means the site will be held to multiple standards. The Design Board Criteria, District-Based Standards, Corridor-Based Standards, and some of the Supplemental Standards of TMC Chapter 18.28 apply (special corner features and open space requirements do not apply). There are also Supplemental Development Standards in TMC Chapter 18.50 that cover things like lighting standards and recycling/waste container design. The site borders a Commercial Corridor (S 180th St to the south) and two Workplace Corridors (Triland Dr to the north and an access road to the west). Upon further review, the City's Corridor Map clearly shows the Workplace Corridor to the west does not follow the access drive and lies outside of the project site. In addition, the page containing Workplace Corridor Standards (Figure 18-27) does not include the access road in the list of existing streets. The Senior Planner claimed the access road is in fact a Workplace Corridor despite conflicting evidence. There are no overlays and non-residential buildings in TUC-WP are not subject to the Southcenter Design Manual.

- Design Review Criteria is in TMC 18.60.050 (starting on page 196 of Title 18 TMC)
- District-Based Standards are in Table 18-3 TMC (page 288 of Title 18 TMC)
- Corridor-Based Standards for Commercial Corridor are in Figure 18-25 TMC (page 263 of Title 18 TMC)
- Corridor-Based Standards for Workplace Corridor are in Figure 18-27 TMC (page 265 of Title 18 TMC)
- Supplemental Standards of Chapter 18.28 TMC (starting on page 72 of Title 18 TMC)
 - This section covers Landscaping Types, General Landscaping, General Parking Requirements, General Parking Guidelines, and Site Requirements for development located within the Tukwila Urban Center (regardless of district). Some of the Supplemental Standards of this Chapter do not apply. Special Corner Feature requirements do not apply to sites within the Workplace District, and Open Space Regulations do not apply to warehouse uses along Commercial or Workplace Corridors.
- Supplemental Development Standards of Chapter 18.50 TMC (starting on page 157 of Title 18 TMC)
 - This section covers other minor requirements for City-wide development. Archaeological/Paleontological Information Preservation Requirements, Lighting Standards, Recycling Storage Space for Non-Residential Uses, Design of Collection Points for Garbage and Recycling Containers, and Peer Review of Technical Studies all seem to apply, despite the City not covering this in the pre-application meeting. The other sections do not apply because of the site's zoning or use.

ATTACHMENT B

L22-0048

29

It is within the Southcenter Subarea Plan Boundary but is not subject to the Southcenter Design Manual. There are no overlays.

60 parking stalls and 2 bicycle parking spots are required, and no more than 30% of stalls may be compact.

Site Conditions	
ADDRESS	5910 S 180 th St, Tukwila, WA 98188
PARCEL NUMBER AND OWNER	The parcel number is 3523049061 and the current owner is listed as Levine & Company LLC.
LOCATION DESCRIPTION	The parcel is located within the City of Tukwila and encompasses 260,436 SF (about 6 acres) of land.
EXISTING USES	The parcel is currently occupied by a movie theater built in 1999, Regal Parkway Plaza Stadium 12, and a large amount of surface parking. The current building is 43,861 SF.
VEGETATION	There are street trees and vegetation to the south and a thin buffer to the east, which borders the Sansaco Home Furnishings building. There are also some landscape islands with trees throughout the parking lot.
TOPOGRAPHY	The topography is flat.
Land Use and Zoning Analysis	
LAND USE DESIGNATION	The City of Tukwila Comprehensive Plan has a combined comprehensive plan and zoning map, so the land use matches the zoning.
ZONING DISTRICT TMC TITLE 18 FIGURE 16 (FIGURE 18-16)	The parcel falls within the Workplace District of the Tukwila Urban Center, which means the zoning is Tukwila Urban Center – Workplace (TUC-WP).
ALLOWED USES TMC TITLE 18 TABLE 2 (TABLE 18-2)	Most industrial, manufacturing, and warehouse uses are permitted, including industrial commercial services, light industrial, self-storage facilities, warehouse storage, and whole distribution facilities. Compliance: The proposed warehouse use is permitted in the TUC-WP zoning district.
MAXIMUM HEIGHT TMC TITLE 18 TABLE 3 (TABLE 18-3)	The maximum height is 45 feet. Compliance: Building height is 40' 6"; less than the code maximum.
BUILDING HEIGHT DEFINITION TMC 18.06.100 WAC 51-50-003 2021 IBC 2.202	According to TMC, building height means the height of a building as calculated by the method in the Washington State Building Code. State Legislature defaults to the 2018 edition of the International Building Code. The IBC's definition of height is "the vertical distance from grade plane to the average height of the highest roof surface."
SETBACKS / YARDS TMC TITLE 18 TABLE 3 (TABLE 18-3) TMC TITLE 18 FIGURE 25 (FIGURE 18-25) TMC TITLE 18 FIGURE 27 (FIGURE 18-27)	Primary Front (Commercial Corridor/S 180 th St): 15-foot minimum Second Front (Workplace Corridors/Triland Dr/access road to the west): 15-foot minimum Side: 5-foot minimum Rear: 5-foot minimum Compliance: The building is setback on all four sides by more than 15 feet, exceeding the code minimum.
TREE PROTECTION REQUIREMENTS TMC 18.54.020	TMC 18.54.020 Urban Forestry and Tree Regulations state, "TMC Chapter 18.52, Landscape Requirements, shall govern the maintenance and removal of landscaping on developed properties that are zoned commercial ..." In the pre-application meeting, the City relayed that a separate tree permit may be required, but they often include going over tree removal and replacement as a part of the Design Review.

	<p>Compliance: The site is currently developed with a theater and parking lot. The existing trees are located along the S. 180th St frontage, the eastern perimeter, and in the landscape islands within the parking lot. The frontage trees and eastern perimeter trees will be retained; however, all interior trees will need to be removed and replaced for the new building, parking and circulation improvements. The total landscape area will exceed code minimums.</p>				
<p>LANDSCAPING REQUIREMENTS TMC TITLE 18 TABLE 3 (TABLE 18-3) TMC TITLE 18 FIGURE 25 (FIGURE 18-25) TMC TITLE 18 FIGURE 27 (FIGURE 18-27) TMC 18.28.240 B.6.B.(1)</p>	<p>There are no side or rear landscaping requirements (Table 18-3). The front yard landscaping minimum for Commercial and Workplace Corridors is 15 feet of streetscape which overlaps with the public frontage standards. Street trees are to be in a continuous landscaped strip 9-feet wide and located at the back of the curb. This leaves 6 feet of space for a sidewalk.</p> <p>Street tree spacing is 20-30 feet for the Commercial Corridor and 30-50 feet for the Workplace Corridors, depending on the species.</p> <p>Minimum interior parking lot landscaping requirements are 15 square-feet per parking stall.</p> <p>Landscape plans must be stamped by a Washington State licensed landscape architect. All landscape areas require a landscape irrigation system. An irrigation plan is required along with the landscape plan (Utility Permit Required).</p> <p>Compliance: Triland Drive and the western access are Workplace Corridors. S 180th Street is a Commercial Corridor. 15 feet of streetscape plantings is provided on these three sides. Street tree spacing is provided within the spacing minimums, unless there are utility conflicts. Sheet L-1 provides the interior parking stall landscaping and demonstrates that it exceeds the code minimum (1,470 SF minimum) by 1,574 SF (3,044 SF provided). The landscape plans are stamped by a licensed landscape architect and an irrigation plan is provided.</p>				
<p>PARKING REQUIREMENTS TMC TITLE 18 FIGURE 6 (FIGURE 18-6) TMC TITLE 18 FIGURE 7 (FIGURE 18-7) TMC TITLE 18 FIGURE 25 (FIGURE 18-25) TMC TITLE 18 FIGURE 27 (FIGURE 18-27) TABLE 1106.1 IBC</p>	<p>For standard 90-degree parking stalls, the requirements include a width of 8.5 feet and depth of 19 feet. Per the City's pre-application notes, full size parking stall depth can include 2 feet of vehicle overhang into landscaped areas (does not apply to compact stalls). The required dimensions for compact parking stalls are a width of 8 feet and depth of 16 feet.</p> <p>Warehousing requires 1 parking space for every 2,000 square feet of usable floor area, whereas office use requires 3 for each 1,000 square feet of usable floor area. The City concluded in the pre-application notes that 60 stalls are required, and just in case the client wishes to include compact parking in the final site plan, no more than 30% of stalls may be compact.</p> <p>The parking can be in the front, side, or rear of building.</p> <table border="1" data-bbox="877 1308 1671 1399"> <thead> <tr> <th>Total Parking Spaces Provided in Parking Facilities</th> <th>Required Minimum Number of Accessible Spaces</th> </tr> </thead> <tbody> <tr> <td>1 to 25</td> <td>1</td> </tr> </tbody> </table>	Total Parking Spaces Provided in Parking Facilities	Required Minimum Number of Accessible Spaces	1 to 25	1
Total Parking Spaces Provided in Parking Facilities	Required Minimum Number of Accessible Spaces				
1 to 25	1				

26 to 50	2
51 to 75	3
76 to 100	4

Compliance: Parking spaces are 8.5' x 19 feet in dimension. No compact spaces are provided. A total of 98 parking spaces are provided, which requires 4 accessible spaces. A total of four accessible parking spaces are provided in the western parking area.

The Auto Parking requirement is 91 stalls based on 36 for office space use (1/333 sf) and 55 stalls for warehouse use (1/2,000 SF). A total of 98 stalls are provided, exceeding the minimum requirement.

BICYCLE PARKING REQUIREMENTS
TMC TITLE 18 FIGURE 7 (FIGURE 18-7)
TMC 18.56.130

1 space is required per 50 parking stalls, with a minimum of 2 spaces. This means 2 bicycle parking spaces shall be provided as outlined in Section 18.56.130 TMC:

- B. Location:
 - 1. Required bicycle parking must be located within 50 feet of an entrance to the building or use
 - 2. Bicycle parking may be provided within a building, but the location must be accessible for bicycles
- C. Safety and Security:
 - 1. Legitimate bicycle spaces are individual units within ribbon racks, inverted 'U' racks, locking wheel racks, lockers, or other similar permanent structures.
 - 2. If bicycle lockers are used, windows and/or view holes must be included to discourage improper uses.
 - 3. If bicycle parking is not visible from the street, a sign must be posted indicating the location of the bicycle parking spaces.
 - 4. All bicycle parking must be separated from motor vehicle traffic by a barrier, curb, post, bollard or other similar device.

Compliance: Please see the Architectural Plans, Sheet A2.1 for bike rack locations.

OVERLAY ZONING / SPECIAL DISTRICT REQUIREMENTS
TMC TITLE 18 TABLE 1 (TABLE 18-1)
TMC TITLE 18 TABLE 4 (TABLE 18-4)

Since this is a large-scale new construction greater than 25,000 square feet, the development shall be reviewed by the Board of Architectural Review as a Type 4 decision, which means the site will be held to the following standards:

- Design Review Criteria
 - TMC 18.60.050; page 196 of Title 18 TMC
- District-Based Standards
 - TMC Title 18 Table 3 (Table 18-3); page 288 of Title 18 TMC
- Corridor-Based Standards
 - TMC Title 18 Figure 25 (Figure 18-25); page 263 of Title 18 TMC
 - TMC Title 18 Figure 27 (Figure 18-27); page 265 of Title 18 TMC
- Supplemental Standards of Chapter 18.28
 - TMC 18.28.230 (Landscaping Types); page 72 of Title 18 TMC
 - TMC 18.28.240 (General Landscaping); page 73 of Title 18 TMC
 - TMC 18.28.260 (General Parking Requirements); page 81 of Title 18 TMC
 - TMC 18.28.270 (General Parking Guidelines); page 83 of Title 18 TMC

	<ul style="list-style-type: none"> ○ TMC 18.28.280 (Site Requirements); page 84 of Title 18 TMC <ul style="list-style-type: none"> ▪ Note: TMC 18.28.220 (Special Corner Feature) of Supplemental Standards does not apply to sites within the Workplace District (Table 18-3 District Standards). Also, TMC 18.28.250 (Open Space Regulations) of Supplemental Standards does not apply to warehouse uses along Commercial or Workplace Corridors (Table 18-4 Provision of Open Space). • Supplemental Development Standards of Chapter 18.50 <ul style="list-style-type: none"> ○ TMC 18.50.110 (Archaeological/Paleontological Information Preservation Requirements); page 157 of Title 18 TMC ○ TMC 18.50.170 (Lighting Standards); page 158 of Title 18 TMC ○ TMC 18.50.185 (Recycling Storage Space for Non-Residential Uses); page 158 of Title 18 TMC ○ TMC 18.50.190 (Design of Collection Points for Garbage and Recycling Containers); page 159 of Title 18 TMC ○ TMC 18.50.200 (Peer Review of Technical Studies); page 159 of Title 18 TMC <p>It is within the Southcenter Subarea Plan Boundary but is not subject to the Southcenter Design Manual. There are no overlays.</p> <p>Response: See the Architectural, Civil and Landscape Plans for how the proposal is in compliance with the design standards.</p>
Response to Design Review Criteria	
<p>DESIGN REVIEW CRITERIA TMC 18.60.050.B.1 RELATIONSHIP OF STRUCTURE TO SITE</p>	<p>1. RELATIONSHIP OF STRUCTURE TO SITE.</p> <p>a. The site should be planned to accomplish a desirable transition with streetscape and to provide for adequate landscaping and pedestrian movement.</p> <p>Response: The site is designed to provide a desirable transition with streetscape, provide adequate landscaping and pedestrian movement. The building is pulled closer to the Commercial Corridor of S 180th Street, provides the City's desired Workplace Corridor improvements along the western and northern perimeters (Triland Drive). These three frontages all include landscaped planter strips and pedestrian connections. The parking lot and building perimeter is landscaped and exceeds the total landscaping requirement.</p> <p>b. Parking and service areas should be located, designed and screened to moderate the visual impact of large paved areas.</p> <p>Response: The parking areas are distributed around three sides of the building to break up the visual impact of large paved areas. The loading dock areas are provided in the rear of the building to screen the areas from the public right of way.</p> <p>c. The height and scale of each building should be considered in relation to the site</p>

	<p>Response: The height of the building is less than the code allowed maximum height. The scale is minimized through design treatments, modulation and textural changes.</p>
<p>DESIGN REVIEW CRITERIA TMC 18.60.050.B.2 RELATIONSHIP OF STRUCTURE AND SITE TO ADJOINING AREA</p>	<p>2. RELATIONSHIP OF STRUCTURE AND SITE TO ADJOINING AREA.</p> <p>a. Harmony of texture, lines and masses is encouraged.</p> <p>Response: The building design proposes a harmony of texture, lines and massing. It features a combination of concrete tilt panels, metal details and canopies, and wood strips for all reveal forms. The building mass is minimized through modulation and differentiation in colors and materials.</p> <p>b. Appropriate landscape transition to adjoining properties should be provided.</p> <p>c. Public buildings and structures should be consistent with the established neighborhood character.</p> <p>d. Compatibility of vehicular pedestrian circulation patterns and loading facilities in terms of safety, efficiency and convenience should be encouraged.</p> <p>e. Compatibility of on-site vehicular circulation with street circulation should be encouraged.</p> <p>Response: An appropriate landscape transition to adjoining properties is provided. The Workplace Corridor along the west provides for a planned connection and includes the landscaping and pedestrian connections. It includes a pedestrian connection to the western property and is designed to accommodate future completion of the roadway when the western properties redevelop. The transition to the eastern property is accommodated through landscaping and fencing. The roadway improvements provide compatibility, safety and convenience. The rear loading dock area is gated and fences for safety and security purposes. Access and circulation are designed to be compatible with the street circulation in that it complies with the City standards for each street type and meets the required driveway spacing distances.</p>
<p>DESIGN REVIEW CRITERIA TMC 18.60.050.B.3 LANDSCAPING AND SITE TREATMENT</p>	<p>3. LANDSCAPING AND SITE TREATMENT.</p> <p>a. Where existing topographic patterns contribute to beauty and utility of a development, they should be recognized, preserved and enhanced.</p> <p>b. Grades of walks, parking spaces, terraces and other paved areas should promote safety, and provide an inviting and stable appearance.</p> <p>Response: The existing topography is relatively flat. Vegetation in the vicinity and the existing site is largely comprised of street trees and parking lot landscaping. These patterns are recognized and preserved with the proposal. The flat grades promote safety and the sidewalks and landscape planter strips provide an inviting and stable appearance.</p> <p>c. Landscape treatment should enhance architectural features, strengthen vistas and important axis, and provide shade.</p> <p>d. In locations where plants will be susceptible to injury by pedestrian or motor traffic, mitigating steps should be taken.</p> <p>e. Where building sites limit planting, the placement of trees or shrubs in paved areas is encouraged.</p> <p>f. Screening of service yards and other places that tend to be unsightly should be accomplished by use of walls, fencing, planting or combination.</p>

	<p>g. In areas where general planting will not prosper, other materials such as fences, walls and pavings of wood, brick, stone or gravel may be used.</p> <p>Response: The landscaping will enhance the architectural features, providing a colorful contrast to the blues, whites and grays of the building. The streetscape is enhanced through street trees and planter strips and the parking lot through landscape islands, all of which provide shade and respite for pedestrians. The service yards are screened by gates, fencing and landscaping. Ground-mounted mechanical units are screened with a hedge screen. Trash enclosures are completely enclosed with painted concrete panels that will match the building.</p> <p>h. Exterior lighting, when used, should enhance the building design and the adjoining landscape. Lighting standards and fixtures should be of a design and size compatible with the building and adjacent area. Lighting should be shielded and restrained in design. Excessive brightness and brilliant colors should be avoided.</p> <p>Response: See the enclosed photometric plan which depicts site lighting levels, locations and fixture details. The building and site lighting fixtures are consistent and compatible with the building and area. The fixtures are shielded, direct lighting downward and are restrained in design. The fixtures are black in color.</p>
<p>DESIGN REVIEW CRITERIA TMC 18.60.050.B.4 BUILDING DESIGN</p>	<p>4. BUILDING DESIGN.</p> <p>a. Architectural style is not restricted; evaluation of a project should be based on quality of its design and relationship to its surroundings.</p> <p>b. Buildings should be to appropriate scale and in harmony with permanent neighboring developments.</p> <p>c. Building components such as windows, doors, eaves, and parapets should have good proportions and relationship to one another. Building components and ancillary parts shall be consistent with anticipated life of the structure.</p> <p>d. Colors should be harmonious, with bright or brilliant colors used only for accent.</p> <p>e. Mechanical equipment or other utility hardware on roof, ground or buildings should be screened from view.</p> <p>f. Exterior lighting should be part of the architectural concept. Fixtures, standards, and all exposed accessories should be harmonious with building design.</p> <p>g. Monotony of design in single or multiple building projects should be avoided. Variety of detail, form and siting should be used to provide visual interest</p> <p>Response: Building design has been carefully designed to be harmonious to the surroundings. The amount of glazing and reveal lines provide a clean design with some interest to the façade. Additional metal canopy has been provided to provide shadows on building that will provide depth to the elevation and the breaks of the building creates a cut to the long building. Accent painting are at main entrances which will provide a focal point for building.</p>
<p>DESIGN REVIEW CRITERIA TMC 18.60.050.B.5</p>	<p>5. MISCELLANEOUS STRUCTURES AND STREET FURNITURE.</p>

- a. Miscellaneous structures and street furniture should be designed to be part of the architectural concept of design and landscape. Materials should be compatible with buildings, scale should be appropriate, colors should be in harmony with buildings and surroundings, and proportions should be to scale.
- b. Lighting in connection with miscellaneous structures and street furniture should meet the guidelines applicable to site, landscape and buildings.

Response: No miscellaneous structures or street furniture are proposed.



North Elevation



East Elevation



S. 180th Street Elevation - South Elevation



West Elevation

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JOB #21409.00

Conceptual Elevations - 32' clear

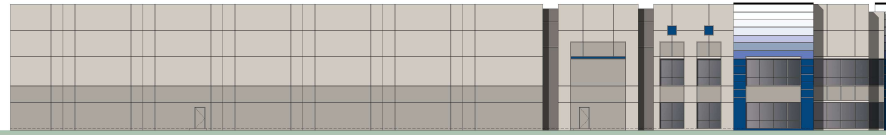
5910 S. 180th STREET

Tukwila, Washington

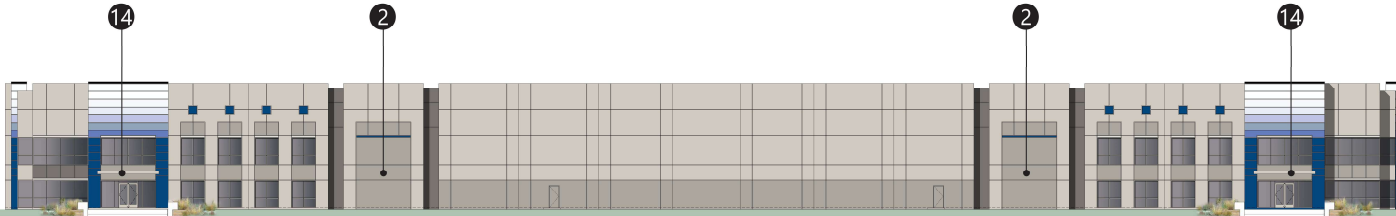
IDI Logistics

ATTACHMENT C

North Elevation

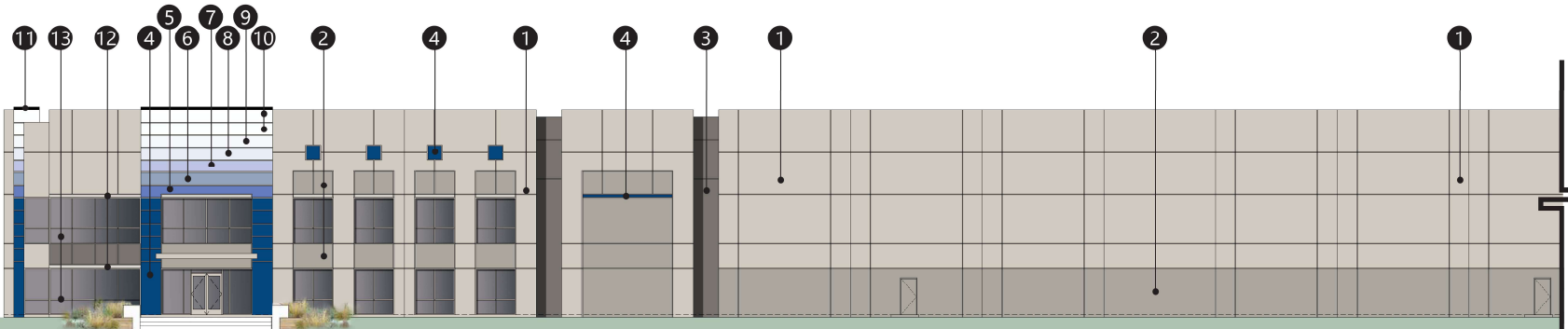


West Elevation



- 1 SHERWIN-WILLIAMS SW7029 AGREEABLE GRAY
- 2 SHERWIN-WILLIAMS SW7017 DORIAN GREY (WHEN METAL PAC CLAD GRANITE)
- 3 SHERWIN-WILLIAMS SW7019 GAUNTLET GRAY
- 4 PMS 541
- 5 PMS 7682 C PRISMA BLUE BELL RAL 270 50 30
- 6 PMS 652 C PRISMA LILAC RAL 270 60 25
- 7 PMS 7681 C PRISMA CHALK RAL 270 70 20
- 8 PMS 2708 C PRISMA BALTIC BLUE RAL 270 80 15
- 9 PMS 657 C PRISMA WHITE LILAC RAL 270 85 10
- 10 PMS 656 C PRISMA BLUE WHITE RAL 270 90 05
- 11 PAC-CLAD MATTE BLACK PAINTED TO MATCH (WITH SATIN SHEEN WHEN NOT PREFINISHED)
- 12 SHERWIN-WILLIAMS SW 7028 INCREDIBLE WHITE
- 13 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS
- 14 METAL CANOPY

Enlarged View of West Elevation



L22-0048

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Conceptual Elevations - 32' clear & Material Board
5910 S. 180th STREET
Tukwila, Washington

IDI Logistics

Figure 18-27: Workplace Corridor Standards

Workplace Corridor

Intent: To provide safe and supportive pedestrian facilities along streets serving truck loading and parking access for primarily warehouse/distribution uses in the southern part of the Southcenter area.

APPLIED TO:

Existing Streets: Minkler Blvd (Southcenter Pkwy to APW, Costco Dr), Upland Dr, Midland Dr, Triland Dr, N./W. between Costco Dr and S. 180th St, Andover Park W. (Minkler to S. 180th St), Andover Park E. (Trek to S. 180th St), Sperry Dr

New Streets: As indicated on Corridor Type Map

Note: This is a summary of key corridor standards. See 18.28.120 to 2.10 for supplemental details.

THROUGHFARE CROSS-SECTION *(See 18.28.140)*

Existing street	No change
New street	See new cross-section

PUBLIC FRONTAGE STANDARDS *(See 18.28.150)*

Total required width	15 ft
Sidewalk width minimum	6 ft
Landscaping	Street trees in a continuous landscaped strip 9 ft wide located at back of curb. Also see 18.28.240 General Landscaping.
Street tree spacing	30-50 ft, depending on species.
Lighting	Vehicular-scale street lighting.

BUILDING ORIENTATION/PLACEMENT & LANDSCAPING *(See 18.28.160 - .190)*

Building orientation to street	Not required
Front yard setback minimum	15 ft
On-site surface parking locations	Front, side or rear of building
Front yard landscaping minimum <i>(waived if Public Frontage Improvements are built to standard)</i>	15 ft of streetscape

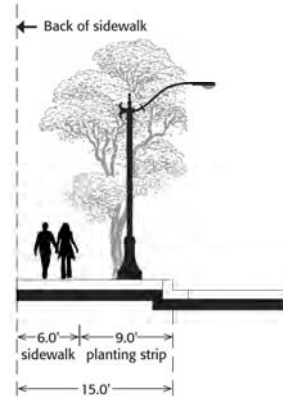
ARCHITECTURAL DESIGN STANDARDS

Façade articulation increment

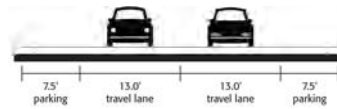
Non-residential maximum	140 ft
Residential maximum	30 ft
Major vertical modulation maximum	280 ft

Ground level transparency

Warehouse/light industrial buildings minimum	20%
Commercial-use minimum	50%



Public frontage



New thoroughfare cross-section



Facade articulation and ground level transparency

Figure 18-25: Commercial Corridor Standards

Commercial Corridor

Intent: To provide safe and supportive pedestrian facilities, greater capacity for vehicles, and attractive streetscapes along heavily travelled roadways serving auto-oriented commercial uses.

APPLIED TO:

Existing Streets: Tukwila Pkwy, Southcenter Pkwy, S. 180th St, West Valley Hwy

New Streets: As Indicated on Corridor Type Map

Note: This is a summary of key corridor standards. See 18.28.120 to .210 for supplemental details.

THOROUGHFARE CROSS-SECTION (See 18.28.140)

Existing street	No change
New street	See new cross-section

PUBLIC FRONTAGE STANDARDS (See 18.28.150)

Total required width	15 ft
Sidewalk width minimum	6 ft
Landscaping	Street trees in a continuous landscaped strip 9 ft wide located at back of curb. Also see 18.28.240 General Landscaping.
Street tree spacing	20-30 ft, depending on species.
Lighting	Vehicular-scale decorative street lighting.

BUILDING ORIENTATION/PLACEMENT & LANDSCAPING (See 18.28.160 - .190)

Building orientation to streets	Not required
Front yard setback minimum	15 ft
On-site surface parking locations	Front, side or rear of building
Front yard landscaping minimum (waived if Public Frontage Improvements are built to standard)	15 ft of Streetscape

ARCHITECTURAL DESIGN STANDARDS

Façade articulation increment

Commercial/mixed-use maximum	50 ft
Residential maximum	30 ft
Major vertical modulation maximum	200 ft

Ground level transparency

Commercial-use minimum	50%
------------------------	-----



Public frontage



Facade articulation and ground level transparency