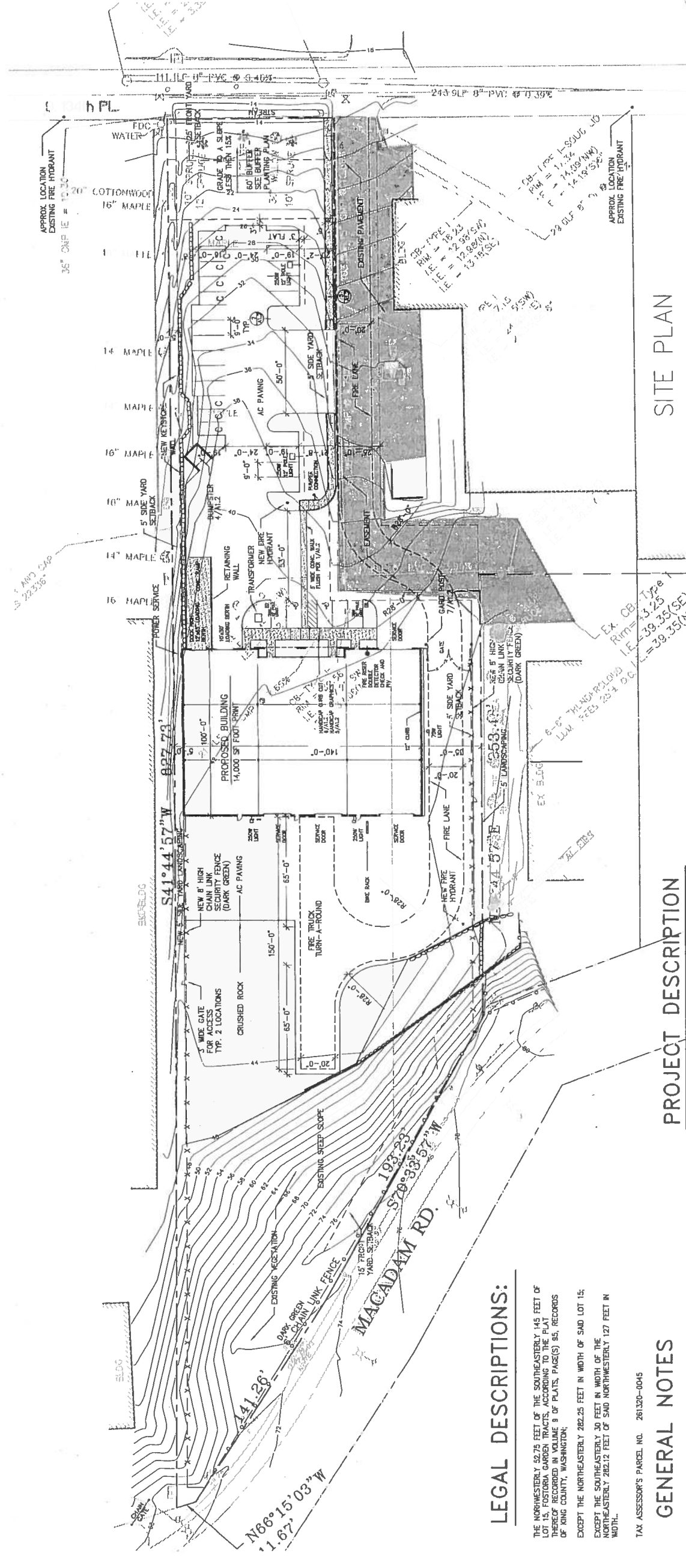


4501 BUILDING S. 134 PLACE WA TUKWILA, WA

LANCE MUELLER & ASSOCIATES ARCHITECTS P.A. 130 LAKESIDE • SEATTLE, WA 98122 • 206 325 2553

SITE PLAN sheet A1.1

no.	revision	date
1	checked	NOV. 16, 2007
2	RESUBMITTAL	6-11-08
3	PLANNING SUBMITTAL	3-20-13
4	drawn	1-07-08



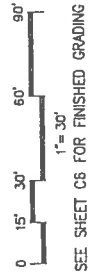
SITE PLAN

APPROX LOCATION EXISTING FIRE HYDRANT

APPROX LOCATION EXISTING FIRE HYDRANT

12 FOOT POLE LIGHTS TO BE "KIM SAR ARCHETYPE" COLOR TO BE BRONZE, WATTAGE AS SHOWN ON PLAN

WALL PACK TO BE "WP100 LUMUX" COLOR TO BE BRONZE, WATTAGE AS SHOWN ON PLAN

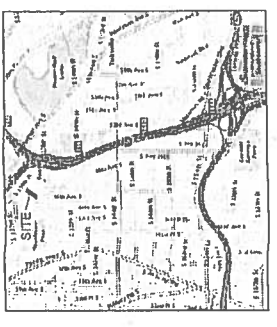


INDEX TO THE DRAWINGS

- | | | | |
|------|-------------------------|------|----------------------------------|
| A1.1 | ARCHITECTURAL SITE PLAN | S1.1 | GENERAL STRUCTURAL NOTES (CONT.) |
| A1.2 | SITE DETAIL | S1.2 | GENERAL STRUCTURAL NOTES |
| A2.1 | FLOOR PLAN AND DETAILS | S2.1 | FOUNDATION AND MEZZANINE PLAN |
| A2.2 | ROOF PLAN AND DETAILS | S2.2 | ROOF FRAMING PLAN |
| A3.1 | ELEVATIONS | S2.3 | INTERIOR PANEL ELEVATIONS |
| A4.1 | WALL SECTIONS | S2.4 | INTERIOR PANEL DETAILS |
| A4.2 | WALL SECTIONS | S3.1 | TYPICAL CONCRETE DETAILS |
| A4.3 | INTERIOR WALL SECTIONS | S3.2 | CONCRETE DETAILS |
| A4.4 | STAIR SECTIONS | S3.3 | CONCRETE DETAILS |
| A5.1 | DETAILS | S6.1 | WOOD FRAMING DETAILS |
| A5.2 | DETAILS | S6.2 | WOOD FRAMING DETAILS |

PROJECT STATISTICS

- ZONING DISTRICT - C / L1
- CONSTRUCTION TYPE 3B
- FIRE SPRINKLER - YES
- INTERNATIONAL BUILDING CODES - 2006
- OCCUPANCY - S1 STORAGE AND B OFFICE
- OVERALL OCCUPANCY B FOR NON-SEPARATED USES.
- SITE AREA - 101,512 SF
- BUILDING AREA - 14,000 SF (FIRST FLOOR)
- 4,666 SF (SECOND FLOOR)
- 18,666 SF (TOTAL)
- ALLOWABLE BASE AREA = 19,000 SF
- PARKING (SPECULATIVE)
- SECOND FLOOR = 4,666 SF @ 3/1000 = 14
- WAREHOUSE DECK = 14,000 SF @ 1/1000 = 14
- 28 PARKING STALLS REQUIRED, 28 SHOWN



VICINITY MAP

PROJECT DESCRIPTION

CONSTRUCT A TILT-UP CONCRETE BUILDING OF 14,000 SF FOOT PRINT OF 101,512 SF TOTAL AREA INCLUDING FULL SITE DEVELOPMENT (UTILITIES AND LANDSCAPING) AND BUILDING WITH A 4,666 SF MEZZANINE / SECOND FLOOR. BUILDING SHELL ONLY WITH TENANT IMPROVEMENT AS SEPARATE PERMIT.

DEFERRED SUBMITTAL LIST

- MECHANICAL - BY WASH STATE LICENSED ENGINEER
 - ROOF TOP EQUIPMENT TO BE SCREENED FROM VIEW. COORDINATE WITH ARCHITECT BEFORE PERMIT SUBMITTAL
 - ELECTRICAL - BY WASH STATE LICENSED ENGINEER
 - FIRE SPRINKLER - BY WASH STATE LICENSED ENGINEER
 - SMOKE DETECTORS AND MONITORING
 - ENGINEER STAMPED TRUSS DRAWINGS
 - ROOF HATCH, METAL LADDER AND CASE
 - AREAS OF EVALUATION ASSISTANCE - PROVIDE QUICK RESPONSE SPRINKLER HEADS IN LIEU OF AREAS OF EVALUATION ASSISTANCE. TENANTS OR USER OF BUILDING TO PROVIDE WRITTEN LIFE SAFETY PLAN ACCEPTABLE TO BUILDING DEPARTMENT FOR LOCAL DEPARTMENT OF OCCUPANCY AND CITY.
 - EXTERIOR PRE-FAB STEPS
 - ROOF MANUFACTURER'S NAME, PRODUCT NAME AND NUMBER AND K300 APPROVAL NUMBER.
 - CONCRETE DESIGN MIX.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM BACK TO THE GENERAL CONTRACTOR WHO WILL DELIVER THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEER OF RECORD. THESE ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SPECIAL INSPECTIONS

IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING INSPECTIONS SHALL BE CONDUCTED IN ACCORDANCE WITH SEC. 707 OF THE UNIFORM BUILDING CODE:

- SOILS CONFORMANCE PRIOR TO FOUNDATION INSPECTION
- FIELD WELDING
- CONCRETE OVER 2500 PSI
- HIGH-STRENGTH BOLTS
- EPOXY

LEGAL DESCRIPTIONS:

THE NORTHEASTERLY 52.75 FEET OF THE SOUTHEASTERLY 145 FEET OF LOT 15, FOSTORIA GARDEN TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE(S) 85, RECORDS OF KING COUNTY, WASHINGTON;

EXCEPT THE NORTHEASTERLY 282.25 FEET IN WIDTH OF SAID LOT 15;

EXCEPT THE SOUTHEASTERLY 30 FEET IN WIDTH OF THE NORTHEASTERLY 282.12 FEET OF SAID NORTHEASTERLY 127 FEET IN WIDTH.

GENERAL NOTES

- TAX ASSESSOR'S PARCEL NO. 281320-0045
- REQUIRED HYDRANTS PER CITY ORDINANCE TO BE OPERATIONAL PRIOR TO COM-BUSTIBLE BUILDING MATERIALS DELIVERED TO SITE. FIRE FLOW AS REQUIRED.
 - BUILDING ADDRESS AT AN MINIMUM 10-INCH HIGH NUMBER IN CONTRASTING COLOR.
 - SPRINKLER SYSTEMS SHALL COMPLY WITH NFPA AND BE APPROVED BY FIRE DEPARTMENT AND BEC QUICK RESPONSE HEADS PER EVALUATION ASSISTANCE AREA EXCEPTION, FOR BLDG. SHELL AND OFFICE IMPROVEMENTS
 - PORTABLE FIRE EXTINGUISHERS PER NFPA AND BEC IN CONSTRUCTION SHACK. PERMANENT EXTINGUISHER BY OWNER @ 3,000 S.F. MAX AREA WITH 10% WALKER TRAVEL DISTANCE OF BUILDING/FIRE DEPARTMENT PRIOR TO CONSTRUCTION OF OCCUPANCY AND PER SEPARATE PERMIT.
 - NO OCCUPANCY PRIOR TO ISSUANCE AND CERTIFICATE OF OCCUPANCY.
 - SPECIAL TEST LABORATORY INSPECTION REQUIRED FOR ALL SITE WELDING, HIGH STRENGTH BOLTING AND ALL STRUCTURAL CONCRETE.
 - TO CITY AND ARCHITECT FOR APPROVAL (C.A.I.)
 - CONTRACTOR TO VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
 - PROVIDE APPROVED MONITORED ALARM SYSTEM TO A SUPERVISED APPROVED STATION.
 - PROVIDE APPROVED HOSE STATIONS PER ORDINANCE & W.S.R.C.
 - ALL CONCRETE WORK IN EXCESS OF 2000 PSI SHALL BE INSPECTED BY TESTING FOUR NO CONCRETE WHEN THE ANTICIPATED SITE TEMPERATURE WILL BE BELOW 34 DEGREES DURING THE FIRST 48 HOURS OF CURING.
 - THE CONTRACTOR SHALL CALL STRUCTURAL ENGINEER FOR FIELD INSPECTIONS PRIOR TO COVERING ROOF DECK.
 - CONTRACTOR SHALL NOTIFY ARCHITECT AND ENGINEER OF RECORD PRIOR TO REPAIRS WITHOUT HIS REVIEW.
 - SOIL ENGINEER TO VERIFY SOIL BEARING PRIOR TO POURING OF FOOTINGS.
 - CONTRACTOR TO INSPECT AND APPROVE BUILDING PAD AND FOOTINGS PRIOR TO POURING FLOOR.
 - ENGINEER TO INSPECT AND APPROVE PAVING AREAS
 - CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO AVOID INTERFERENCE BETWEEN DIVISIONS OF THE WORK.
 - CONTRACTOR TO PROVIDE ALL WORK SERVICES, AND MATERIALS NECESSARY TO CONSTRUCT A COMPLETE OPERATING FACILITY.
 - THE CONTRACTOR SHALL APPLY AND SECURE ALL OCCUPANCY, SEWER, STORM, WATER, ELECTRICAL AND OTHER PERMITS EXCEPT BUILDING PERMIT. HE SHALL PAY ALL NECESSARY FEES AND POST BONDS REQUIRED.
 - ALL EXPOSED INSULATION SHALL MEET F.S. 25 REQUIREMENTS AND SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ULBC STANDARD NO. 8-1
 - INSTALL ALL INSULATION ONLY AFTER MOISTURE CONTENT ON ALL MEMBERS IS LESS THAN 15%. PROVIDE TESTING LAB REPORTS VERIFYING TESTING TO THE MANUFACTURER'S INSTRUCTIONS (IF APPLICABLE).
 - ALL WALKING SURFACE SLOPES IN DIRECTION OF TRAFFIC FOR HANDICAP ACCESS TO BE 1:20 OR LESS EXCEPT 1:12 WHERE HANDRAILS ARE USED. (EXCEPT AS NOTED)

4501 BUILDING S. 134th STREET TUKWILA, WASHINGTON

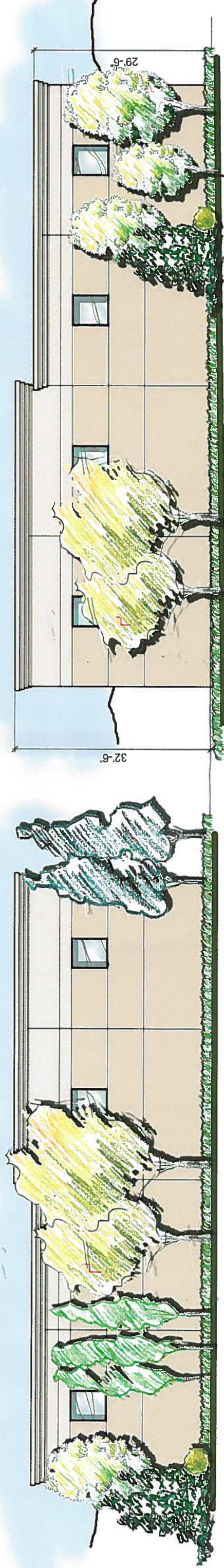
LANGE MUELLER & ASSOCIATES
ARCHITECTS
130 LAKESIDE - SEATTLE, WA 98122 - 206 325 2552
SHEET A3.1 - 3-19-13



EAST ELEVATION

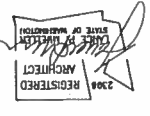


WEST ELEVATION



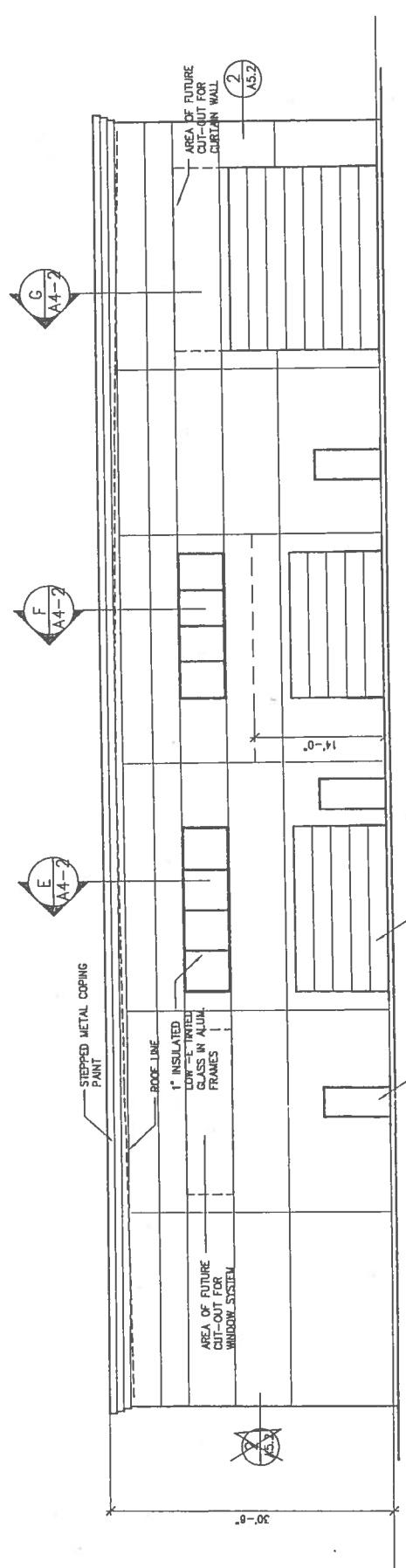
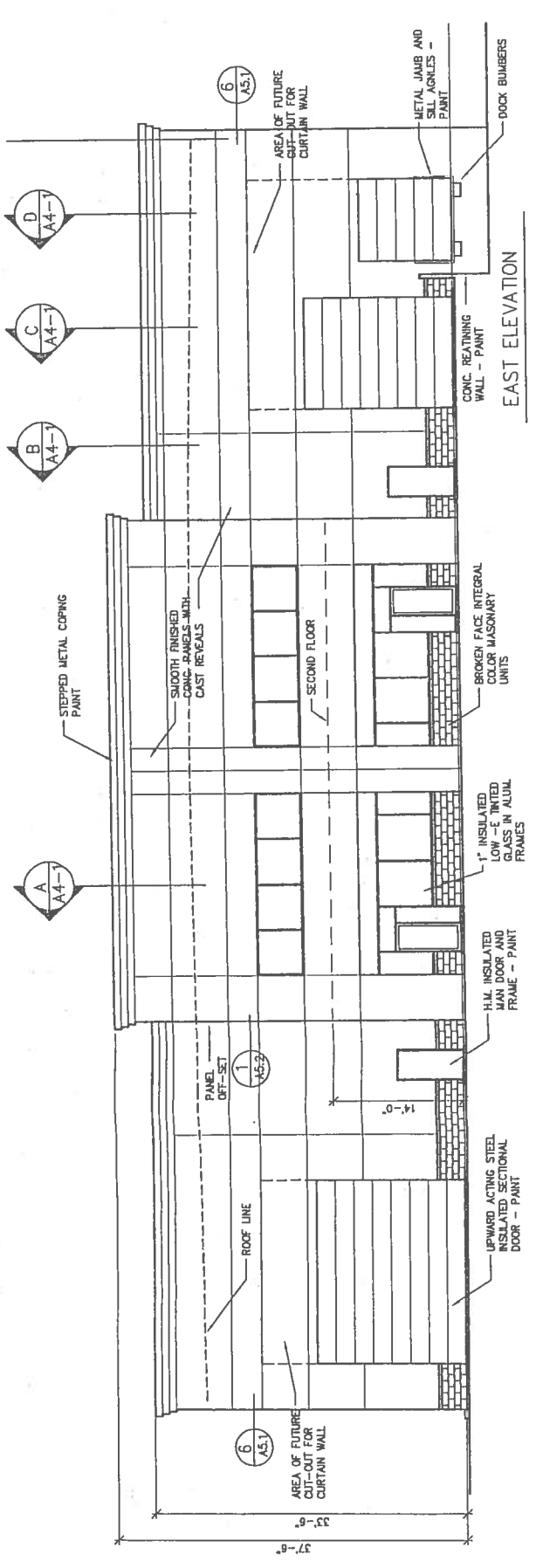
NORTH ELEVATION

SOUTH ELEVATION

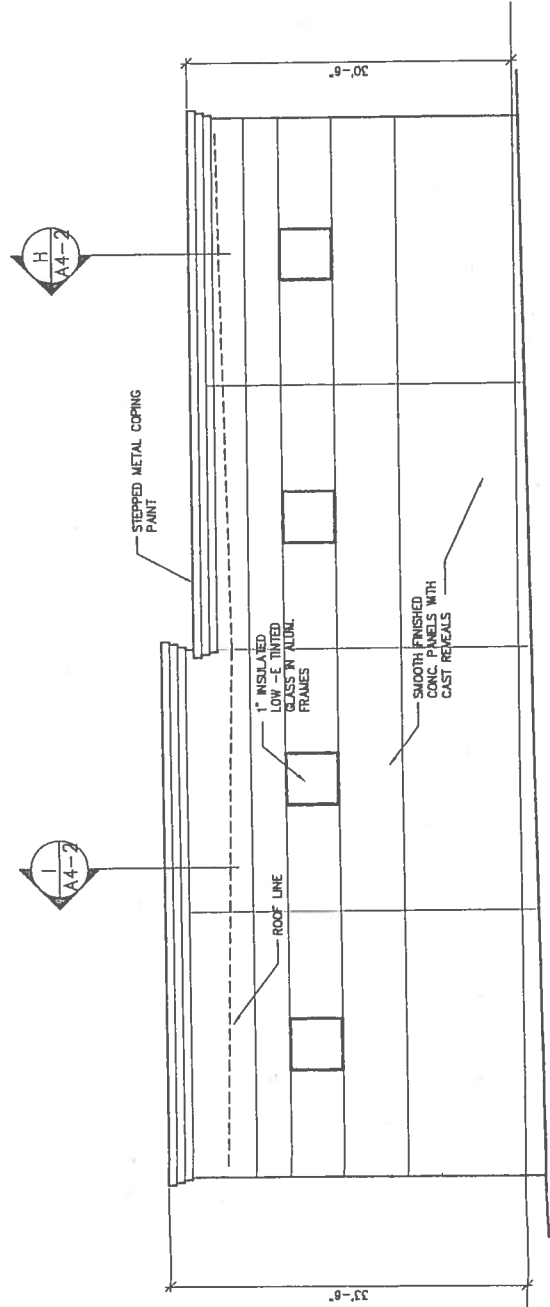


06-114	job no.
drawn	
checked	
NOV. 16, 2007	date
no.	revision
1	SUBMITTAL
2	RESUBMITTAL
3	RESUB TO CITY PER REQUEST
1-20-13	date

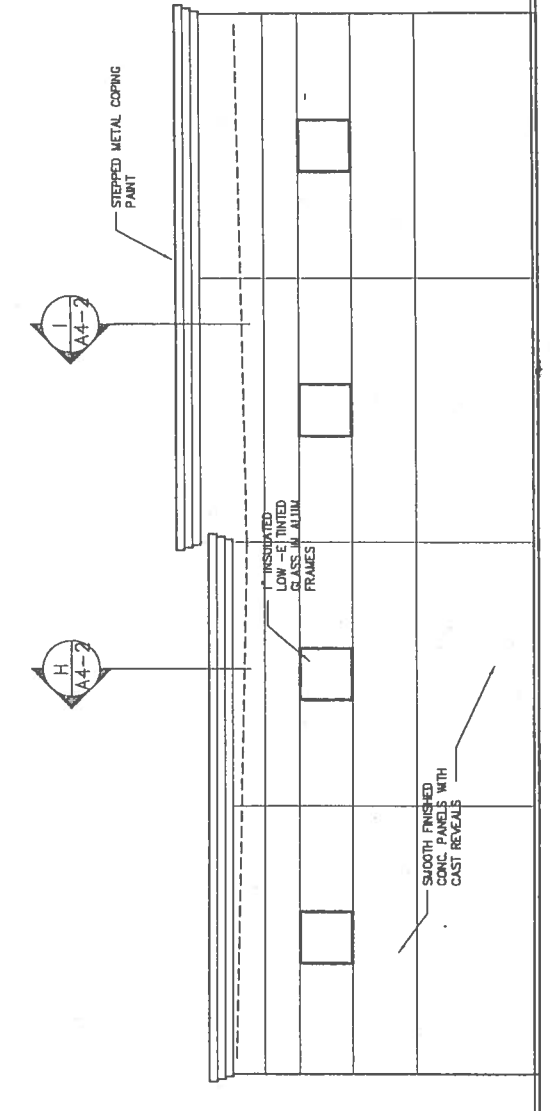
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drawn	
checked	
NOV. 16, 2007	date
no.	revision
1	SUBMITTAL
2	RESUBMITTAL
3	RESUB TO CITY PER REQUEST
1-20-13	date



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

SYMBOL	QTY.	BOTANICAL / COMMON	CONDITION
	5	Acer Rubrum 'October Glory' / October Glory Red Maple 2" Cal. B+B	
	6	Prunus serotina 'Columaris' / Columar Sargents Cherry 2" Cal. B+B	
	8	Prunus cerasifera 'Krauter Vesuvius' / Krauter Vesuvius Plum 2" cal. B+B	
	11	Carpinus betulus 'Fastigiata' / Columar Hornbeam 2" Cal. B+B	
	2	Acer Palmatum 'Sango Kaku' / Sango Kaku Japanese Maple 6"-1" B+B	
	9	Cupressocyparis leylandii / leyland Cypress 1" minimum B+B	
	41	Oemanthus delavayi / Delavay Oemanthus 5 gallon	
	50	Cyrtis 'Sunset' / Sunset Rockrose 5 gallon	
	127	Mahonia aquifolium / Oregon Grape 5 gallon, 18" minimum	
	12	Viburnum Davidii 2 gallon	
	8	Thuja O. 'Emerald Green' / Emerald Green Arborvitae 6" min. B+B	
	58	Prunus L. 'Otto Luyken' / Otto Luyken Laurel 21" min.	
	43	Nandina Domestica 'Harbor Dwarf' / Harbor Dwarf Heavenly Bamboo 2 gallon	
	51	Nandina Domestica 'Harbor Dwarf' / Harbor Dwarf Heavenly Bamboo 2 gallon	

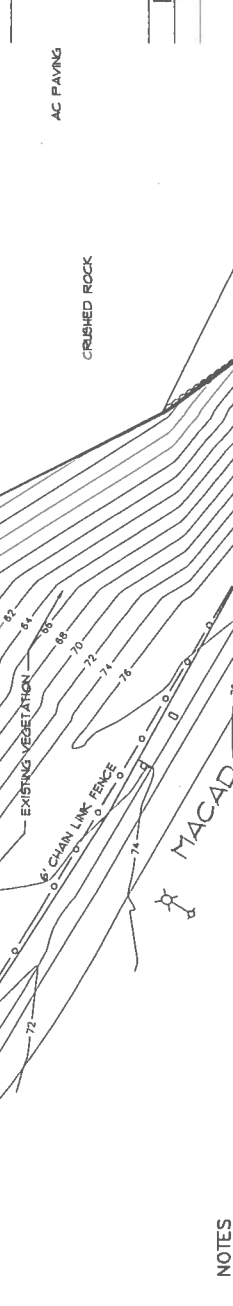
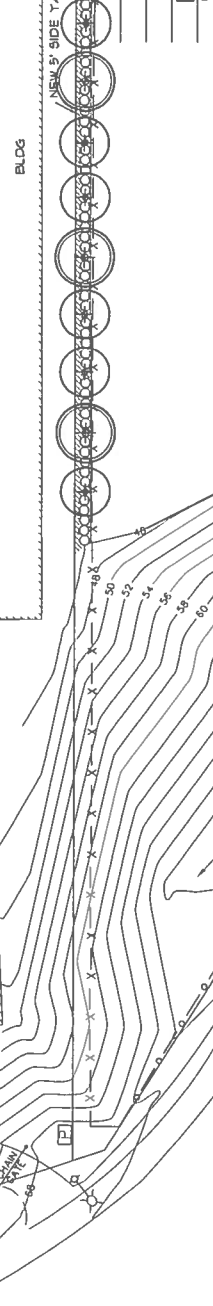
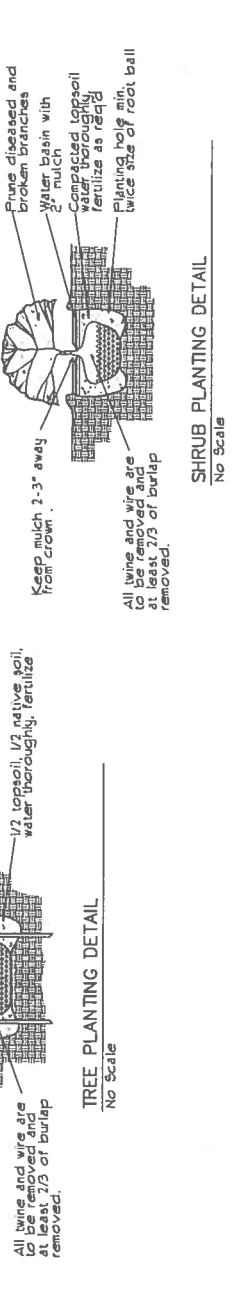
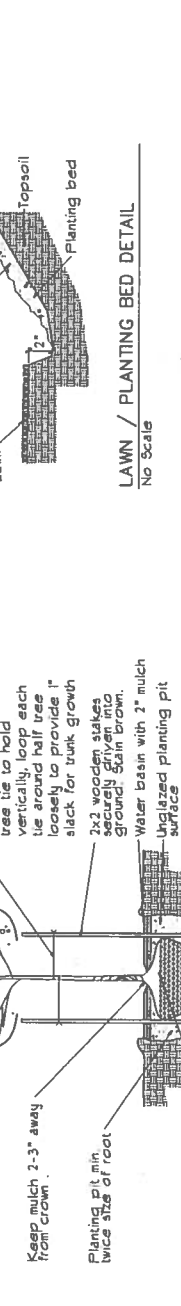
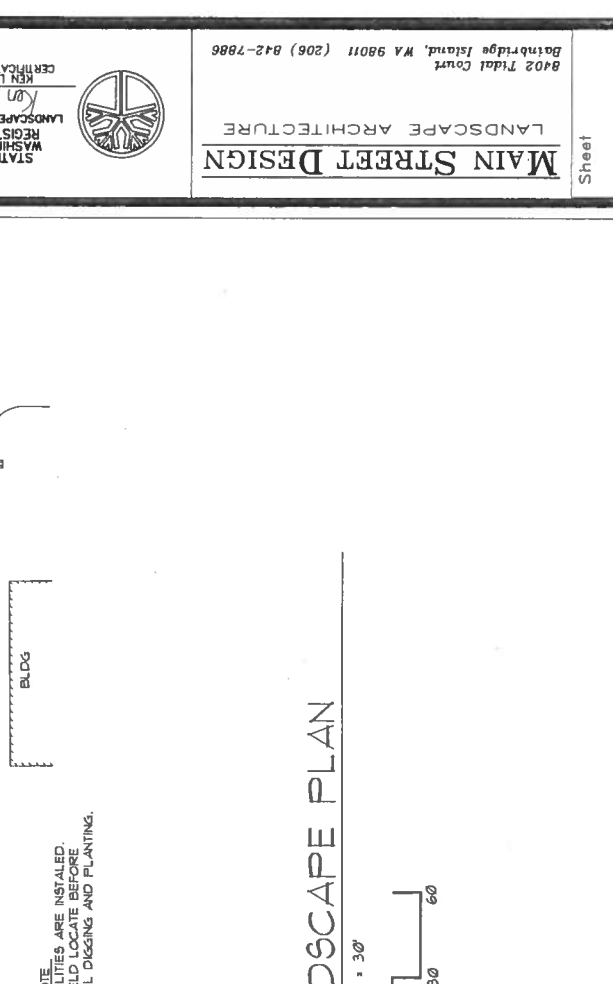
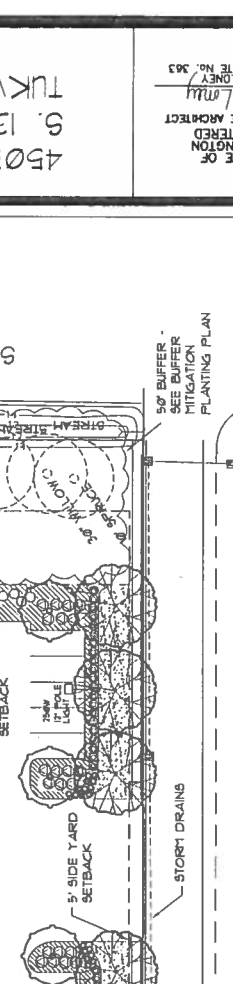
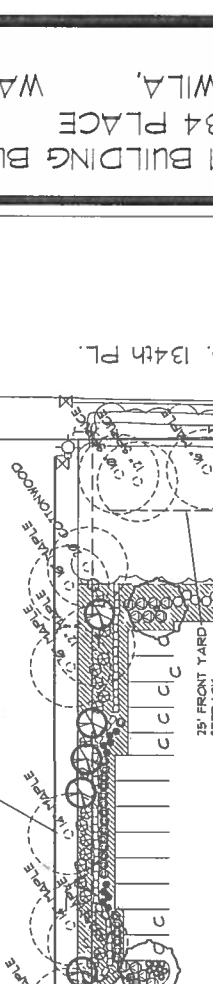
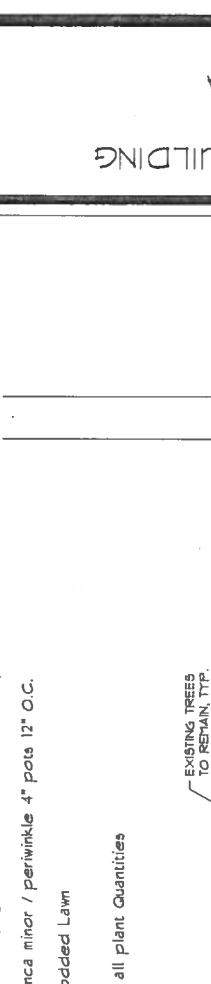
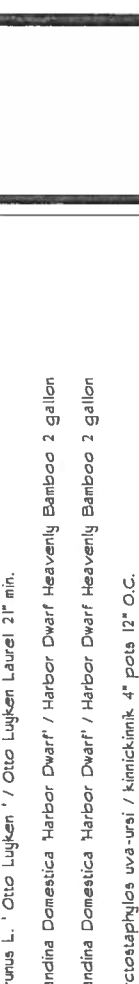
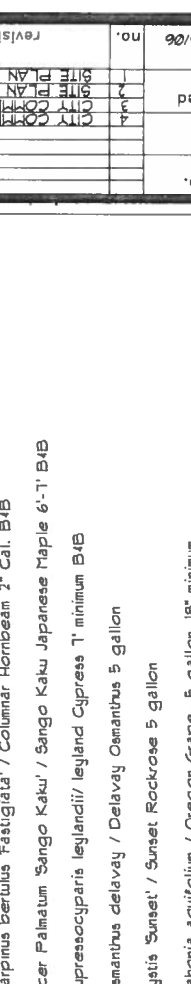
	Arctostaphylos uva-ursi / kinnikinnik 4" pots 12" O.C.
	Vinca minor / periwinkle 4" pots 12" O.C.
	Sodded Lawn

*Confirm all plant quantities

job no.	drawn	checked	date	no.	date
			5/20/13		
			6/4/10		
			4/20/07		
			1/23/07		

PLANT LIST

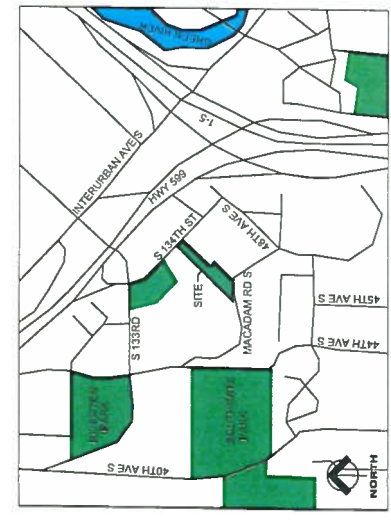
SYMBOL QTY. BOTANICAL / COMMON CONDITION



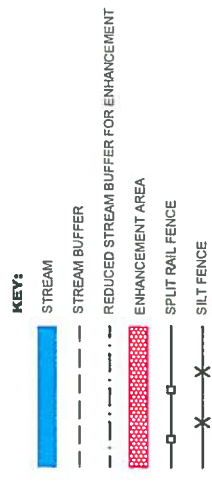
- NOTES
- Subgrades, including berms, to within 1/8th foot provided by General Contractor unless otherwise noted.
 - Subgrade shall be scarified or recontoured if conditions require.
 - For container grown plants root ball is to be loosened and any circling roots pruned prior to planting.
 - 4" depth 3-way topsoil or equal in all planting areas.
 - Soils must be loosened at least 18" in depth and organic material, such as compost, tilled into the entire planting area.
 - No backfilling of individual planting pits with amended soils is permitted. All amended soils must be prepared and receive soil amendments prior to planting.
 - 2" depth fine grade bark mulch in all planting beds.
 - All plant material shall be healthy, full and conform to ANLA American standard for nursery stock, latest edition, including:
 - For B+B plants, trunks must be in the center of the root ball
 - Minimum root ball diameters and depths for trees and shrubs shall be as specified in ANSI Z60.1-2004 for each species.
 - Height and spread shall be as specified in ANSI Z60.1-2004 for each type of plant species.
 - Root flare must be visible on B+B plants.
 - No J roots, no circling.
 - No root in rootball greater than 1/10 of tree trunk diameter.
 - All container grown plants shall be healthy, vigorous, well rooted, and free of any pests or diseases. The container shall be checked for soil moisture and water retention. All plants shall have a well established growing root system reaching the sides of the container to maintain a firm root ball. Root balls shall not have excessive root growth encircling the inside of the container.
 - Plant material or size or kind not available may be substituted only with approval of Landscape Architect or Owner.
 - Landscape Architect must approve plants for quality prior to installation.
 - All mass plantings shall have triangular spacing.
 - All tree pits shall be impacted to insure proper drainage.
 - Existing grade shall be maintained. Round planting areas minimum 5'
 - Shrubs and trees minimum 42" from curb for car overhang unless wheelstops noted.
 - Landscape Contractor shall maintain site until final inspection and acceptance by Owner.

4501 BUILDING - MITIGATION PLAN

NE 1/4 OF SEC. 15, TWP. 23 N, RGE. 4 E, W.M.
TAX PARCEL ID NO.: 261320-0045



- CONSTRUCTION NOTES:**
1. SILT FENCE MUST BE INSTALLED PRIOR TO ANY MITIGATION ACTIVITIES TAKING PLACE.
 2. CLEARING OF INVASIVE VEGETATION SHALL ONLY OCCUR DURING PERIODS OF LOW PRECIPITATION.
 3. REGRADING OF THE ENHANCEMENT AREA SHALL ONLY OCCUR DURING PERIODS OF NO PRECIPITATION.
 4. SILT FENCE WILL BE INSPECTED REGULARLY TO AVOID SEDIMENTATION OF STREAM CHANNEL.
 5. ALL AREAS CLEARED OF VEGETATION SHALL BE MULCHED TO MINIMIZE POTENTIAL EROSION.
 6. IF IT IS DETERMINED THAT EROSION CONTROL MEASURES HAVE FAILED, ALL MITIGATION ACTIVITIES MUST STOP UNTIL EROSION SITUATION HAS BE RECTIFIED.

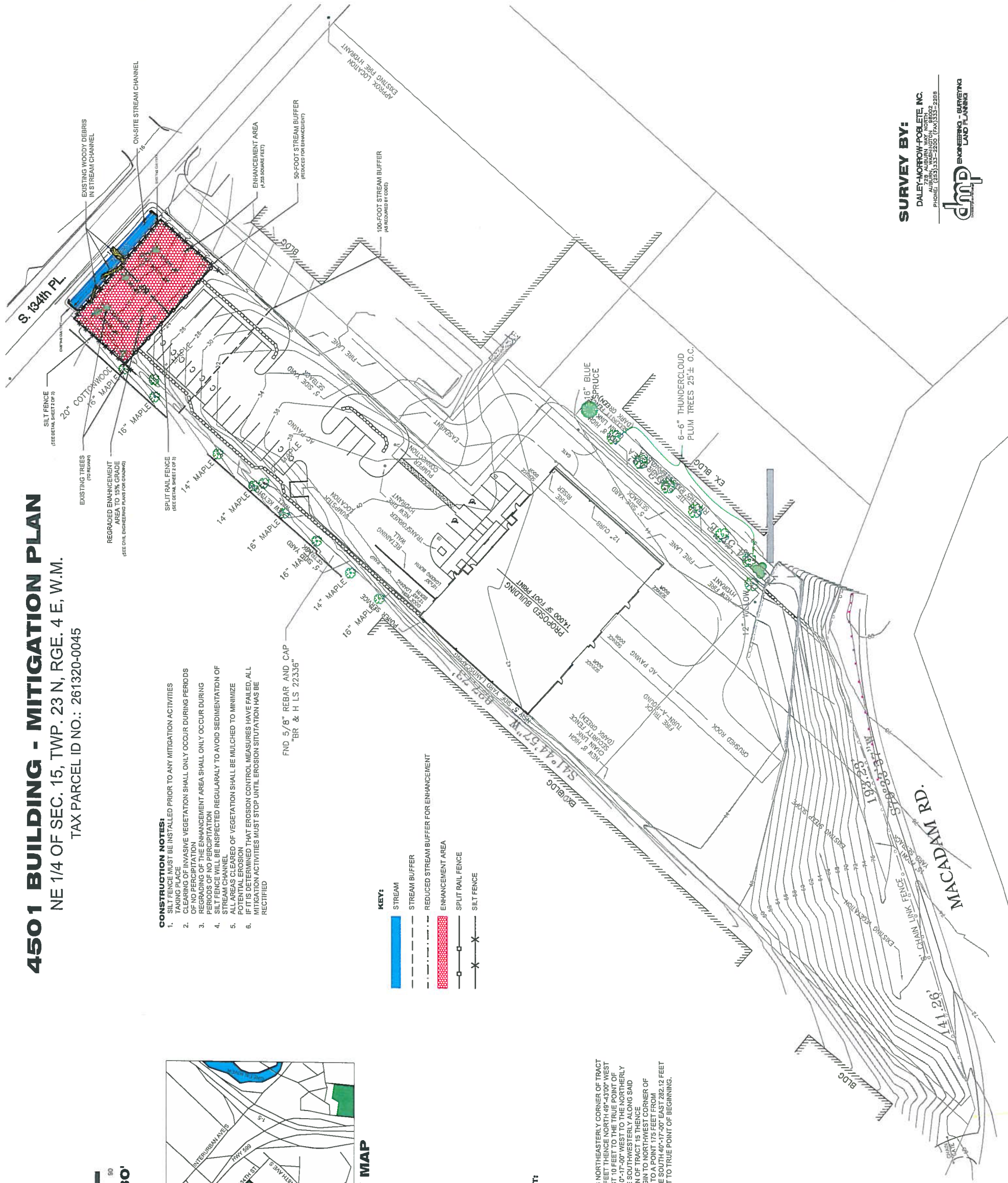


APPLICANT:
LAKERIDGE DEVELOPMENT
ATTN: WAYNE JONES
P.O. BOX 148
RENTON, WASHINGTON 98057
425-228-9750

CIVIL ENGINEER:
DMP, INC.
ATTN: MEL DALEY, P.E.
726 AUBURN WAY NORTH
AUBURN, WASHINGTON 98002
253-333-2200

ENVIRONMENTAL CONSULTANT:
J.S. JONES AND ASSOCIATES, INC.
ATTN: JEFFERY S. JONES, PWS
402 EAST MAIN STREET, SUITE 110
AUBURN, WASHINGTON 98002
253-804-2845

LEGAL DESCRIPTION:
15 FOSTORIA GARDEN TRACTS BEGINNING NORTHEASTERLY CORNER OF TRACT 15 THENCE SOUTH 40°17'00" WEST 272.12 FEET THENCE NORTH 49°43'00" WEST 9228 FEET THENCE SOUTH 40°17'00" WEST 10 FEET TO THE TRUE POINT OF BEGINNING SOUTH 89°57'00" WEST 10 FEET TO THE NORTHERLY MARGIN TO THE WEST MARGIN OF TRACT 15 THENCE NORTHEASTERLY ALONG SAID WEST MARGIN TO NORTHWEST CORNER OF TRACT 15 THENCE SOUTH 49°43'00" EAST TO A POINT 175 FEET FROM NORTHEAST CORNER OF TRACT 15 THENCE SOUTH 40°17'00" EAST 282.12 FEET THENCE SOUTH 49°43'00" EAST 82.75 FEET TO TRUE POINT OF BEGINNING.



SURVEY BY:
DALEY-HORROW-ROBLETT, INC.
726 AUBURN WAY NORTH
AUBURN, WASHINGTON 98002
PHONE: (253) 333-2200 FAX: (253) 333-2208

dmp ENGINEERING - SURVEYING
LAND PLANNING

NO.	DATE	BY	REVISION
1	4/19/07	LRE	REVISED SITE PLAN

J. S. Jones and Associates, Inc.
Environmental Consultants
Wetlands, Streams, and Wildlife
402 EAST MAIN STREET, SUITE 110 AUBURN, WASHINGTON 98002 253-804-2845

CONSULTANT:

LAKERIDGE DEVELOPMENT
P.O. BOX 148 RENTON, WASHINGTON 98057 425-228-9750
MITIGATION PLAN
TAX PARCEL ID NO.: 261320-0045

DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
L. Erickson	L. Erickson	Jef Jones	Jef Jones	10/30/06

1" = 30'
SCALE
SHEET 1 of 3

RESUBMITTAL - 5.20.13



NORTH



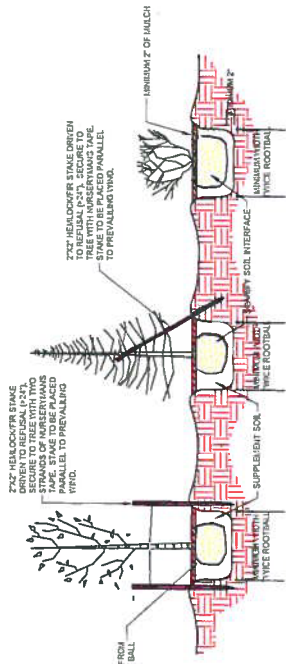
SCALE: 1" = 10'

4501 BUILDING - MITIGATION PLAN

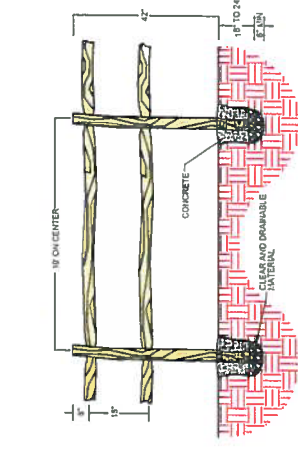
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TAX PARCEL ID NO.: 261320-0045

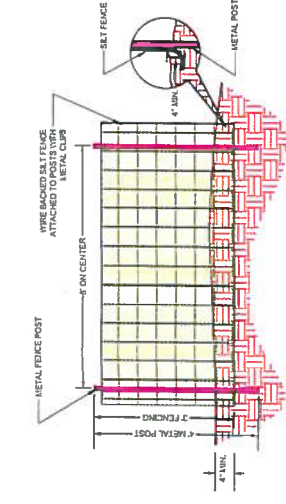
PLANTING AND STAKING DETAIL



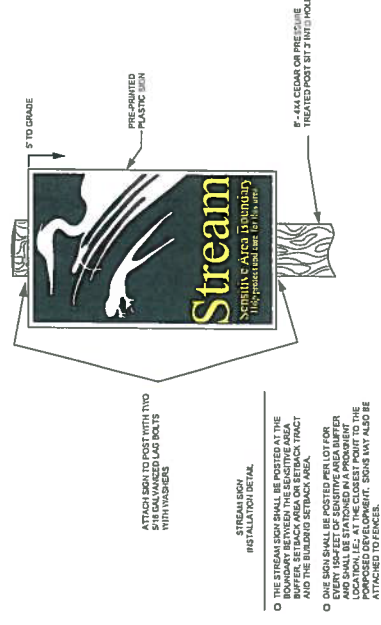
SPLIT RAIL FENCE DETAIL



SILT FENCE DETAIL



STREAM SIGN DETAIL



S. 134th PL.

EXISTING WOODY DEBRIS IN STREAM CHANNEL

ON-SITE STREAM CHANNEL



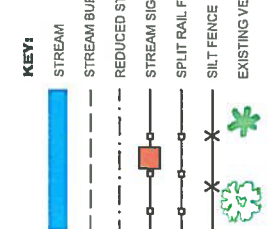
BUFFER GRASS SEEDING

GRASS NAME	SCIENTIFIC NAME	PERCENTAGE
BLUE WILDRYE	ELYMUS GLAUCUS	60%
MEADOW BARLEY	HORDEUM BRACHYANTHERUM	30%
TUFTED HAIRGRASS	DESCHAMPSIA CAESPITOSA	10%

* APPLICATION RATE: 40 LBS PER ACRE
 * TOTAL WETLAND AREA TO BE SEEDED: 0.1 ACRES
 * TOTAL AMOUNT OF SEED NEEDED: 4 LBS
 * BROADCAST SEED APPLICATION BY HAND

PLANT SCHEDULE

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QTY.	SIZE
	BIG-LEAF MAPLE	ACER MACROPHYLLUM	10	4-6 FT
	RED ALDER	ALNUS RUBRA	7	4-6 FT
	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	10	4-6 FT
	WESTERN RED CEDAR	THUJA PLICATA	7	4-6 FT
	VINE MAPLE	ACER CIRCINATUM	10	3-4 FT
	OCEANSPRAY	HOLODISCUS DISCOLOR	25	1 GAL
	OSOBERRY	OSMILERIA CERASIFORMIS	25	1 GAL
	SALMONBERRY	RUBUS SPECTABILIS	30	1 GAL
	SNOWBERRY	SYMPHORICARPOS ALBUS	30	1 GAL
	WESTERN SWORD FERN	POLYSTICHUM MUNITUM	50	1 GAL
	KINNIKINNIK	ARCHTOSTAPHYLOS UVA-URSI	100	4 INCH CUP



CONSULTANT: J. S. Jones and Associates, Inc.
 Wetlands, Streams, and Wildlife
 402 EAST MAIN STREET, SUITE 110 AUBURN, WASHINGTON 98002 252-804-2645

CLIENT: LAKERIDGE DEVELOPMENT
 P.O. BOX 146 RENTON, WASHINGTON 98057 425-228-9750
 TAX PARCEL ID NO.: 261320-0045

PROJECT: 4501 BUILDING MITIGATION PLAN

DESIGNED BY: L. Erickson
 DRAWN BY: L. Erickson
 CHECKED BY: Jeff Jones
 APPROVED BY: [Signature]
 DATE: 10/30/06

2 of 3 SHEET
 SCALE 1"=10'

NO.	DATE	BY	REVISION
1	4/18/07	LRE	REVISED SITE PLAN

RESUBMITTAL 3.20.13

4501 BUILDING - MITIGATION PLAN

NE 1/4 OF SEC. 15, TWP. 23 N, RGE. 4 E, W.M.

TAX PARCEL ID NO.: 261320-0045

1.0 Executive Summary
1.1 Project Description: The applicant proposes to construct an office, warehouse, equipment maintenance, outside storage and a water retention vault on the subject property. The applicant proposes to reduce the required 100-foot buffer to 50 feet and enhance the remaining buffer area.

1.2 Baseline Information: The property is 2.35 acres with a Type 2 watercourse located along the eastern edge of the property. The watercourse is within the roadside ditch for South 134th Street. During the site visit and a Type 2 watercourse was observed in the watercourse. The on-site watercourse rates as a Type 2 watercourse. The City of Tukwila Municipal Code requires a 100-foot buffer for Type 2 watercourses.
1.3 Buffer Redirection and Mitigation: Section 18.45.100.F.1.b of the City of Tukwila Municipal Code allows reduction of a watercourse buffer if there is no significant vegetation present and an enhancement plan is provided. There are 9 acres present in the existing buffer. The majority of these trees were planted as ornamentals for landscaping purposes. The remaining buffer area is dominated by grasses, weeds, Himalayan blackberry and thistles. The applicant proposes to remove the grasses, weeds and invasive vegetation and replant the area with native trees, shrubs and groundcovers. Native plant species will increase plant diversity, wildlife habitat and prevent the establishment of invasive species. The existing trees will remain in the buffer area. No impacts to the Type 2 watercourse are proposed.

2.0 Project Location
The property is located at 4501 South 134th Place, in Tukwila, Washington.

3.0 Responsible Parties

Applicant: [Redacted]
Landscape Development
A/E: Wayne Jones
P.O. Box 146
Renton, Washington 98057
425-228-9807

Environmental Consultant

Jeffrey S. Jones
J.S. Jones and Associates, Inc.
3516 28th Avenue South
Federal Way, Washington 98003
(253) 874-9388

4.0 Standards
All work and materials shall conform to City of Tukwila standards and specifications, and to the specifications and details shown on these plans.

5.0 City of Tukwila Contact
Certain actions within this mitigation/restoration plan require inspection or approval by City of Tukwila staff. Requests for inspection/approval shall be coordinated through Sandra Whiting, Urban Environmentalist.

6.0 Contractor Information

When it is available, contact information shall be provided to the City of Tukwila that includes names, addresses and phone numbers of persons/firms that will be responsible for grading the mitigation/restoration area, installing required plants, and performing required maintenance and monitoring.

7.0 Contractor's Qualifications

Contractor/Landscape Installer must be experienced in mitigation and restoration work. The Permittee shall provide that there is one person on the site at all times during work and installation who is thoroughly familiar with the type of materials being installed and the best methods for their installation, and who shall direct all work being performed under these specifications. This person shall be experienced in installing native plant materials for wetland mitigation or restoration projects, unless otherwise allowed by the Landscape Designer, Wetland Biologist and/or City of Tukwila staff.

8.0 Site Conditions

The Permittee, Landscape Designer and/or Wetland Biologist shall immediately notify the City of Tukwila of any discrepancies between these plans and the site conditions. The locations of plants shown may be modified in the field by the Landscape Designer, Wetland Biologist and/or City of Tukwila staff based on field conditions at the time of planting. Changes should be documented and as-built drawings submitted to the City of Tukwila upon request for formal construction approval.

9.0 Plants

9.1 Origin: Plant materials shall be Northwest native plants, nursery grown in the Puget Sound region of Washington. Dug plants may only be used upon approval of City of Tukwila staff.
9.2 Handling: Plants shall be handled so as to avoid all damage, including breaking, bruising, root damage, sunburn, drying, freezing or other injury. Plants must be covered during transport. Plants shall not be bound with wire or rope in a manner that could damage branches. Protect plant roots with shade and wet soil in the time period between delivery and installation. Do not lift container stock by trunks, stems, or tops. Do not remove from containers until ready to plant. Water all plants as necessary to keep moisture levels appropriate to the species horticultural requirements. Plants shall not be allowed to dry out. All plants shall be watered thoroughly immediately upon installation. Soak all containerized plants thoroughly prior to installation. Bare root plants are subject to the following special requirements, and shall not be used unless planned between November 1 and March 1, and only with the permission of the Landscape Designer and City of Tukwila staff. Bare root plants must have enough fibrous root to insure plant survival. Roots must be covered at all times with muld and/or wet straw, moss, or other suitable packing material until time of installation. Plants whose roots have dried out from exposure will not be accepted at installation inspection.

9.3 Storage: Plants stored by the Permittee for longer than one month prior to planting shall be planted in nursery rows and treated in a manner suitable to that species horticultural requirements. Plants must be inspected by the Wetland Biologist and/or Landscape Designer prior to installation.
9.4 Damaged Plants: Damaged, dried out, or otherwise mislabeled plants will be rejected at installation inspection. All rejected plants shall be immediately removed from the site.
9.5 Plant Names: Plant names shall comply with those generally accepted in the native plant nursery trade. Any questions regarding plant species or variety shall be referred to the Landscape Designer, Wetland Biologist, or City of Tukwila staff. All plant materials shall be true to species and variety.

9.6 Plant Substitutions: Plant substitutions are permitted without the permission of the Landscape Designer, Wetland Biologist and/or City of Tukwila staff. Some species substitutions are of larger size do not require special permission. However, small plants often experience less transplant shock and adapt more quickly to conditions, resulting in a higher success rate. As such, smaller plants will be approved as substitutions based on certain site-specific conditions (trees not less than 1 gallon size leave out).
9.7 Quality and Conditions: Plants shall be normal in pattern of growth, healthy, well-manicured, vigorous, with well-developed root systems, and free of pests and diseases. Damaged, diseased, pest-infested, scraped, bruised, dried-out, burned, broken, or defective plants will be rejected. Plants with pruning wounds over 1" in diameter will be rejected.
9.8 Roots: All plants shall be balled and burlapped or containerized, unless explicitly authorized by the Landscape Designer and/or Wetland Biologist. Rootbound plants or B&B plants with damaged, cracked or loose rootballs (minor damage) will be rejected. Immediately before installation, plants with minor root damage (some broken and/or twisted) must be root-pruned. Matted or circling roots of containerized plantings must be pruned or straightened and the sides of the root ball must be roughened from top to bottom to a depth of approximately half and inch in two to four places. Bare root plantings of woody material is allowed only with permission from the Landscape Designer, Wetland Biologist, and/or City of Tukwila staff.

9.9 Sizes: Plant sizes shall be the size indicated in the plant schedule. Larger stock may be acceptable provided that it has not been cut back to size specified, and that the root ball is proportionate to the size of the plant. Smaller stock may be acceptable, and under some circumstances preferable, based on site-specific conditions. Measurements, caliper, branching and balling and burlapping shall conform to the American Standard of Nursery Stock by the American Association of Nurserymen (latest edition).
9.10 Form: Evergreen trees, if used, shall have single trunks and symmetrical, well-developed form. Deciduous trees shall be single trunked unless specified as multi-stem in the plant schedule. Shrubs shall have multiple stems, and be well-branched.
9.11 Planting: Planting shall be done in accordance with illustrated details in the mitigation/restoration plan set and accepted industry standards.
9.12 Timing of Planting: Unless otherwise approved by City of Tukwila staff, all planting shall occur between September 1 and March 31. Overall, the earlier plants go into the ground in the fall, the more time they have to adapt to the site and extend their root systems before the water demands of spring and summer.

9.13 Weeding: Existing and exotic vegetation in the mitigation and buffer areas will be hand weeded from around all newly installed plants at the time of installation and on routine basis through monitoring period. No chemical control of vegetation on any portion of the site is allowed without the written permission of City of Tukwila staff.

9.14 Soil Amendments: Unless otherwise specified and approved the City of Tukwila, organic matter (Cedar Grove Pure Compost or approved equal) will be incorporated into the planting pits.
9.15 Mulch: The soil surface surrounding all planting pit areas shall receive no less than 2" of medium bark mulch after planting.
9.16 Site Conditions: Contractor shall immediately notify the Landscape Designer and/or Wetland Biologist of drainage or planting conditions likely to be detrimental to the growth or survival of plants. Planting operations shall not be conducted under the following conditions: freezing weather, when the ground is frozen, excessively wet weather, excessively windy weather, or in excessive heat.

9.17 Plant Locations: Locations shall be as depicted in the approved plan set. The Landscape Designer and/or Wetland Biologist may change the locations of plantings shown on plans based on field conditions.
9.18 Planting Pit Size: Planting pits shall be circular or square with vertical sides, and shall be 3' deeper and 6" larger in diameter than the root ball of the plant. Break up the sides of the pit in compacted soils. Set plants upright in pits as illustrated in planting detail. Burlap shall be removed from the planting pit. Backfill shall be worked back into holes such that air pockets are removed and no excess compacting down soil.
9.19 Fertilizers: Slow release fertilizer may be used. Fertilizers shall be applied only at the base of plantings underneath the required covering of mulch (that does not make contact with stems of the plants). No fertilizers will be placed in planting holes.
9.20 Water: Plants shall be watered upon completion of backfilling. For spring plantings (if approved), a rim of dirt shall be mounded around the base of the tree or shrub no closer than the drip line, or no less than 30" in diameter, except on steep slopes or in hollows, as illustrated in planting detail. Plants shall be watered a second time within 24-48 hours after installation. The entire ground should be leveled prior to the second growing season.
9.21 Staking: Most shrubs and many trees do not require any staking. If the plant can stand alone without staking in a moderate wind, do not use a stake. If the plant needs support, then staking or webbing should be used as low as possible on the trunk to loosely brace the tree with two stakes (see Planting Detail). Do not brace the tree tightly or too high on the trunk. If the tree is unable to sway, it will further lose the ability to support itself. As soon as supporting the plant becomes unnecessary, remove the stakes. All stakes must be removed within two (2) years of installation.

9.22 Intermediate Inspections: All plants shall be inspected and approved by the Landscape Designer and/or Wetland Biologist prior to installation. Condition of roots of a random sample of plants will be inspected, as well as all aboveground growth on all plants. Roots of any bare root plants, if permitted for use, will be inspected. Plant material may be approved at the source, at the discretion of the Landscape Designer and/or Wetland Biologist, but all material must be re-inspected and approved on the site prior to installation. Plant locations shall also be inspected and approved prior to planting.

10.0 Grass Seeding

Seeding is required as described in approved plans.
10.1 Timing: Seeding shall not take place until mulch has been applied. Contractor shall insure that areas to receive seed are clear of debris and that final grades are correct. Seeding shall be performed after other plant installation is complete. Seeding is the final step of the initial installation; site shall be closed to all vehicles and foot traffic shall be minimized after seeding is complete. Seeding shall not take place when the ground is frozen or in windy weather. Seeds shall be uniformly broadcast by mechanical means 4"-12" of stems of spreader, with as even distribution as feasible. Areas within 6"-12" of stems of seeded plants shall not be seeded.
10.2 Seed Mix: Use specified native mix at rate specified. All seed materials shall be the mix of weed seeds or other foreign matter detrimental to plant growth. NOTE: Seed mix should be ordered as early as possible to insure and adequate supply of specified native seed.

11.0 Maintenance

Maintenance shall be required twice yearly in accordance with City of Tukwila guidelines and approved plans.
11.1 Survival: The Permittee shall be responsible for the health of 100% of all newly installed plants for one growing season after installation has been accepted by City of Tukwila staff (see Performance Standards). A growing season for these purposes is defined as occurring from spring to spring (March 15 to March 15, following year). For fall installation (often required), the growing season will begin the following spring. The Permittee shall replace any plants that are failing, weak, defective in a manner of growth, or dead during this growing season, as directed by the Landscape Designer, Wetland Biologist, and/or City of Tukwila staff.

11.2 Installation Timing for Replacement Plants: Replacement plants shall be installed between September 1 and March 31, unless otherwise determined by the Landscape Designer, Wetland Biologist, and/or City of Tukwila staff.
11.3 Duration and Extent: In order to achieve performance standards, the Permittee shall have the mitigation/restoration area maintained for the duration of the monitoring period, 5 years. Maintenance will include watering, weeding around base of installed plants, pruning, replacement, restaking, removal of all classes of noxious weeds (see Washington State Noxious Weeds List, WAC 16-750-005) as well as Himalayan blackberry, and any other measures needed to insure plant survival. All maintenance shall be directed by the Landscape Designer and/or Wetland Biologist.
11.4 Standards for Replacement Plants: Replacement plants shall meet the same standards for size and type as those specified for original installation and/or City of Tukwila staff. Replacement plants shall be inspected as described above for the original installation.

11.5 Replanting: Plants that have settled in their planting pits too deep, too shallow, loose, or crooked shall be replanted as directed by the Landscape Designer, Wetland Biologist, and/or City of Tukwila staff.
11.6 Herbicides/Pesticides: Chemical controls shall not be used in the mitigation/restoration area, sensitive areas or their buffers. However, limited use of herbicides may be approved depending on site specific conditions, only if approved by City of Tukwila staff.
11.7 Irrigation/Watering: Water shall be provided during the dry season (July 1-October 15) for the first two years after installation to ensure plant survival and establishment. Water should be provided by a temporary above ground irrigation system. Water should be applied at a rate of 1" of water two times a week for year 1 and 1" of water one time a week during year 2.

11.8 General: The Permittee shall include in general maintenance activities the replacement of any vandalized or damaged signs, habitat features, fences or other structural component of the mitigation site.
12.0 Performance Standards - Plant Cover and Survival
Plant survival and cover standards are established to measure mitigation success as follows:

Performance Standards	Year 1	Year 3	Year 5
Shrub and Sapling Tree Cover*	>10%	>25%	>50%
Shrub and Sapling Tree Survival	100%	>85%	>80%
Herbaceous Cover*	>60%	>80%	>80%
Herbaceous Survival	100%	>85%	>80%

*Includes beneficial native plants in that category that are naturally recruiting volunteers

No more than 10% invasive cover during any monitoring event.
A minimum of 3 native trees, 4 native shrubs and 1 native groundcover will be established and thriving by the end of Year 5.

13.0 Monitoring

Monitoring shall be conducted annually for 5 years in accordance with the approved mitigation/restoration monitoring plan.
13.1 Vegetation Monitoring: Sample points of transects will be established for vegetation monitoring, and photo-points established from which photos will be taken throughout the monitoring period. Linear transects are the preferred method for vegetation monitoring for this site. No less than one (1) 30-foot transect per 5,000 square feet of area will be established in the mitigation/restoration area. Permanent transect location(s) must be identified on the mitigation/restoration site plans in the first monitoring report (they may be

drawn on approved mitigation/restoration plans by hand). Plots located at the end of each transect shall detail herb, shrub, and tree aerial cover at radii of 1m, 5m, and 10m respectively, using the Braun-Blanquet relative method or other acceptable field method. Monitoring of vegetation transects shall occur annually between August 1 and September 30 (prior to leaf drop), unless otherwise specified.
15.2 Photographs: No less than one (1) permanent photo point per 10,000 square feet of mitigation/restoration area will be established within the mitigation/restoration area. Photographs will be taken from these points to visually record the condition of the mitigation/restoration area. Photos shall be taken annually between August 1 and September 30 (prior to leaf drop), unless otherwise specified.
15.3 Reports: Monitoring reports shall be submitted by December 31 of each year during the monitoring period. As applicable, monitoring reports must include description/data for:
I. Site plan and location map
II. Historic description of project, including date of installation, current year of monitoring, reinstatement of mitigation/restoration goals, and performance standards
III. Plant survival, vigor, and aerial coverage from every plant community (transect data), and explanation of monitoring methodology in the context of assessing performance standards
IV. Site hydrology, including extent of inundation, saturation, depth to groundwater, function of any hydrologic structures, piezometer of staff gauge if available, inputs, outlets, etc.
V. Slope condition, site stability, any structures or special features
VI. Buffer conditions, e.g. surrounding land use, use buy humans, wild and domestic creatures
VII. Observed wildlife, including amphibians, avians and others
VIII. Assessment of nuisance/exotic biota and recommendations for management

x. Receipts for any structural repair or replacement
xi. 4"x6" color photograph taken from permanent photo-points as shown on Monitoring/Restoration plan.
xiii. Summary of maintenance and contingency measures proposed for next season and completed for past season
15.4 Deficiencies: Any deficiency discovered during any monitoring or inspection visit must be corrected within 60 days of approval by the City of Tukwila.
15.5 Contingency Plan: Should any monitoring report reveal the mitigation has failed in whole or in part, and should that failure be beyond the scope of routine maintenance, a Contingency Plan will be submitted. The Contingency Plan may range in complexity from a list of plants substituted, to cross-sections of proposed engineered structures. Once approved, it may be installed, and will replace the approved mitigation/restoration plan. If the failure is substantial, the City of Tukwila may extend the monitoring period for that mitigation.

16.0 Bond

Prior to beginning any work, the Permittee must provide a mitigation/restoration bond or assignment of funds per City of Tukwila procedures. A bond quantity worksheet has been completed based on all elements of the mitigation/restoration plan. The total cost, plus contingency fees has been determined to be \$ 19,013,200, which will be the amount of the mitigation/restoration bond the Permittee is required to provide. Note that the approved bond will include required start date for mitigation construction. Bonds are eligible for reduction to maintenance status upon successful installation inspection, providing that it also meets performance standards established in the mitigation plan.

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NO.	DATE	BY	REVISION
1	4/19/07	LRE	REVISED SITE PLAN

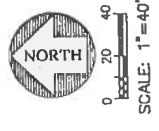
CONSULTANT:
J. S. Jones and Associates, Inc.
402 EAST MAIN STREET, SUITE 110 AUBURN, WASHINGTON 98002 253-864-2645
Environments, Streams, and Wildlife

CLIENT:
LAKERIDGE DEVELOPMENT
P.O. BOX 146 RENTON, WASHINGTON 98057 425-228-9750
PROJECT:
4501 BUILDING
MITIGATION PLAN
TAX PARCEL ID NO.: 261320-0045

DESIGNED BY:
L. Erickson
DRAWN BY:
L. Erickson
CHECKED BY:
Jeff Jones
APPROVED BY:
DATE:
10/3/06

NO SCALE
SHEET 3 OF 3

RESUBMITTED 3.20.13



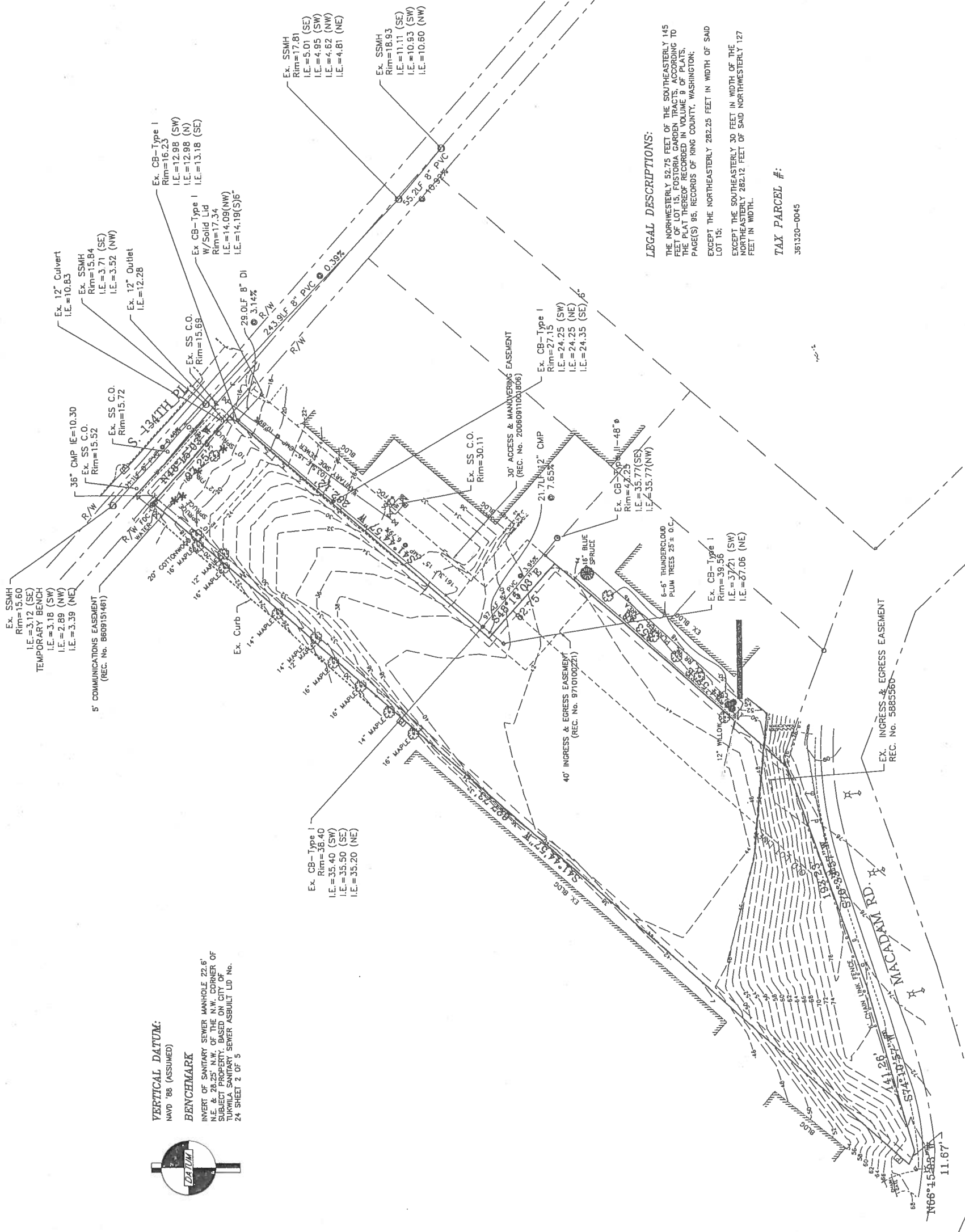
LEGEND

- FOUND MAN IN CASE
- ⊕ EX. SANITARY SEWER MANHOLE
- ⊕ EX. CATCH BASIN
- ⊕ EX. STORM DRAIN MANHOLE
- EX. MAILBOX
- ⊕ EX. UTILITY POLE
- ⊕ EX. GUY ANCHOR
- ⊕ EX. POWER VAULT
- ⊕ EX. POWER CABINET
- ⊕ EX. TELEPHONE RISER
- ⊕ EX. STREET SIGN
- ⊕ EX. FIRE HYDRANT
- ⊕ EX. WATER METER
- ⊕ EX. WATER VALVE
- ⊕ EX. WIRE FENCE
- ⊕ EX. WOOD FENCE
- ⊕ EX. CYCLOPE FENCE
- ⊕ EX. STORM DRAIN PIPE
- ⊕ EX. SANITARY SEWER PIPE
- ⊕ EX. GAS MAIN
- ⊕ EX. POWER LINE
- ⊕ EX. WATERMAIN

VERTICAL DATUM:
NAVD '88 (ASSUMED)



BENCHMARK
INVERT OF SANITARY SEWER MANHOLE 22.6'
AT THE N.W. CORNER OF
SUBJECT PROPERTY BASED ON CITY OF
TUMWILA SANITARY SEWER ASBUILT LID NO.
24 SHEET 2 OF 5

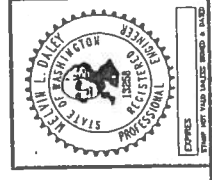


LEGAL DESCRIPTIONS:

THE NORTHWESTERLY 52.75 FEET OF THE SOUTHEASTERLY 145 FEET OF LOT 15, FOSTORIA GARDEN TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE(S) 95, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THE NORTHEASTERLY 282.25 FEET IN WIDTH OF SAID LOT 15; EXCEPT THE SOUTHEASTERLY 30 FEET IN WIDTH OF THE NORTHEASTERLY 282.12 FEET OF SAID NORTHWESTERLY 127 FEET IN WIDTH.

TAX PARCEL #:
361320-0045

DALEY-MORROW-POBLETT, INC.
728 AUBURN WAY NORTH
AUBURN, WASHINGTON 98002
PHONE: (253)333-2200 (FAX)333-2206



NOTE:
EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN AS SHOWN. LOCALITIES CALL BEFORE YOU DIG. 1-800-424-5555.

Call before you Dig.
1-800-424-5555
UNDERGROUND SERVICES (USA)
AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.

REV. NO.	DATE	DESCRIPTION	APPROVED

LAKEBRIDGE DEVELOPMENT, INC.
P.O. BOX 146, RENTON, WA, 98055
PHONE No. (425) 228-9750

4501 BUILDING
EXISTING CONDITIONS

DATE	SCALE	DATE	SCALE
4/26/07	1"=40'	06/20/07	1"=40'

RESUBMITTAL - 3.20.13